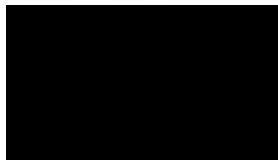


# Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

David Tobin



20/12/2024

RE: Section 5 Declaration R900/24 52 Halldene Grove,  
Bishopstown, Cork T12A66K

A Chara,

With reference to your request for a Section 5 Declaration at the above-named property, received on 25<sup>TH</sup> November, 2024, I wish to advise as follows:

The Planning Authority, in view of the above and having regard to —

- Section 41H of the Planning and Development Act.

It is considered that the *the specific question for which a declaration is sought* IS **DEVELOPMENT** and **IS EXEMPTED DEVELOPMENT** at 52 Halldene Grove, Bishopstown, Cork, T12A66K.

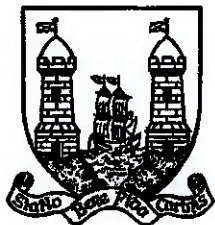
Under Section 5(3)(a) of the Planning and Development Act, 2000, you may, on payment of the appropriate fee, refer this declaration for review by An Bord Pleanála within 4 weeks of the date it is issued, 20<sup>TH</sup> December, 2024.

Is mise le meas,

David Foley  
Development Management Section  
Planning & Integrated Development  
Cork City Council



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# **Comhairle Cathrach Chorcaí**

## **Cork City Council**

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

The report of the area planner is noted and has been reviewed. The substantive issue in this case relates to the matter of materiality and whether the proposed works, i.e. the installation of external wall insulation to the façade of an existing semi-detached property for retrofitting purposes, constitutes development or exempted development. Section 41H of the Planning Act, as amended, exempts "development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures".

While I accept that the works will affect the external appearance of the structure in question I do not accept that the works in and of themselves will render its appearance, by reason of works designed to improve the energy efficiency of the building, inconsistent with the character of the structure itself or of neighbouring structures.

As such I am of the view that the works are exempt under the meaning of Section 41H of the Planning and Development Act.

Is mise le meas,

---

**Niall Ó Donnabháin**  
Director of Services,  
Planning and Integrated Development,  
Cork City Council



**We are Cork.**

<b>Planner's Report Ref. R900/24</b>	Cork City Council, Planning and Integrated Development
<b>Application type</b>	Section 5 Declaration
<b>Description</b>	Planning exemption required to install wall installation in front wall
<b>Location</b>	52 Halldene Grove, Bishopstown, Cork
<b>Applicant</b>	David Tobin
<b>Date</b>	25 November 2024
<b>Recommendation</b>	Is Development and Is <b>not</b> Exempted Development

In this report 'the Act' means the Planning and Development Act 2000 (as amended) and 'the Regulations' means the Planning and Development Regulations 2001 (as amended), unless otherwise indicated.

### 1. Requirements for a Section 5 Declaration

Section 5(1) of the Planning and Development Act 2000 as amended states;  
 'If any question arises as to what, in any particular case, is or is not development or is or is not exempted development within the meaning of this Act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question, and that person shall provide to the planning authority any information necessary to enable the authority to make its decision on the matter.'

The requirements for making a section 5 declaration are set out in the Act.

### 2. The question before the Planning Authority

In framing the question to the planning authority, the applicant states in Q3 of the application form:

'Is the addition of external wall insulation (EWI) exempted development on the front wall of the premises?'

#### Additional details regarding question/ works / development

'Plan in place to have insulation works undertaken as part of SEAI scheme.'

### 3. Site Description

The subject site is at 52 Halldene Grove, Bishopstown, Cork and is located on the southern side of Halldene Grove. The site comprises a two-storey semi-detached dwelling with attached garage. House and garage have pitched and hipped roofs finished in concrete roof tiles. The front of house is finished in patterned brick with remainder of house and garage finished with cement render. The majority of the street contain similar semi detached houses with similar external finishes.

The building is **not**; a protected structure or within an Architectural Conservation Area.

There is a section of public open space (approximately 40m), including the TwoPot River with trees adjacent to the River, due west of site. The rear garden falls within the notification zone associated with the Seveso buffer for Irish Oxygen Company, due southwest of site. The proposed works do not fall within the rear garden area.

### **3.1 Legislative provisions**

#### **The Planning and Development Act**

##### **Section 2(1),**

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

##### **Section 3(1),**

In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or ‘the making of any material change in the use of any structures or other land’

##### **Section 4(1)(h),**

The following shall be exempted developments for the purposes of this Act- development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

##### **Section 4(2)**

Section 4(2) provides that the Minister may, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations 2001-2013.

##### **Section 5(1),**

(See Section 1 of this report above)

##### **Section 177U (9) (screening for appropriate assessment)**

In deciding upon a declaration or a referral under section 5 of this Act a planning authority or the Board, as the case may be, shall where appropriate, conduct a screening for appropriate assessment in accordance with the provisions of this section.

#### **The Planning and Development Regulations**

##### **Article 6(1)**

Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such

development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

#### Article 9(1)

Development to which article 6 relates shall not be exempted development for the purposes of the Act—

(a) if the carrying out of such development would—

(i) contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act,

...

(viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,

#### 4. Assessment

The purpose of this report is to assess whether or not the matter in question constitutes development and whether it falls within the scope of exempted development.

Matters pertaining to the acceptability of the proposal in respect of the proper planning and sustainable development of the area is **not** a consideration under Section 5.

The submitted Section 5 application provided no detail regarding the proposed works i.e. what type of insulation was being used or how the insulation was to be applied/installed. The applicant was asked to provide such details via email on 10/12/24. The applicant did not provide such, however provided an image of a house which has undergone similar works (please see image below for reference). The image shows that the proposed insulation works is externally added and finished in a smooth cement render.



**Note:** Image of similar works above. Such works do not have the benefit of planning permission for same.

## 6.1 Development

**The first issue for consideration is whether or not the matter at hand is 'development'?**

'Development' as defined in the Act (3)(1) comprises two possible chief components: 'the carrying out of any works on, in, over or under land', or 'the making of any material change in the use of any structures or other land'. In order to ascertain whether or not the subject use is considered to be development as so defined, consideration must first be given to whether any works on, in, over or under land have or will be carried out, and secondly to whether any material change in the use of any structures or other land have or will take place.

'Works' is defined in section 2(1) of the Act as 'the carrying out of any works on, in, over, or under land' including 'any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal, and in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.'

The addition of external insulation on front wall of house falls within the definition of 'works'. Therefore, the proposal constitutes development within the meaning of the Act.

**Conclusion:** The works are considered development.

## 6.2 Exempted Development

**The next issue for consideration is whether or not the matter at hand is Exempted Development?**

The proposed works are not listed within Schedule 2 Part 1 of the Planning and Development regulations 2001 (as amended) which lists Exempted Development. Article 6 therefore does not provide for this type of development.

Section 4(1)(h) of the act does afford some exempted development where the works to the exterior of a structure do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structure.

The addition of external insulation to this dwelling will render the external appearance of the front façade, inconsistent with dwellings on this section of public road. The houses along this section of Halldene Grove are characterised by their partial brick finish and the external insulation would alter this so as to render it out of character.

I note that the addition of external insulation has been assessed under previous Section 5 applications. In particular the determination for R763/23 and R858.24, found that this form of development is not exempt in similar circumstances.

I therefore conclude that the proposed external insulation is classed as development and is **not** exempted development.

## 5. Environmental Assessment

### 5.1 Screening for Environmental Impact Assessment

Having regard to the contents of Article 103 (as amended by Article 14 of the Planning and Development (Amendment) (No 3) Regulations 2011) and Schedule 7 of the Planning and Development Regulations 2001 (as amended) it is considered that the proposed development by reason of its nature, scale and location would not be likely to have significant effects on the environment. Accordingly, it is considered that an Environmental Impact Statement is not required to be submitted.

### 5.2 Screening for Appropriate Assessment

Section 177U (9) of the Act requires planning authorities to screen applications for a section 5 declaration for appropriate assessment. The provisions of the Habitats Directive, the Appropriate Assessment Guidelines for Planning Authorities 2009 (revised 2010) and the Act are noted. The relevant European sites are the Cork Harbour SPA (site code 004030) and the Great Island Channel cSAC (site code 001058). Having regard to the location of the proposed development site relative to these European sites and related watercourses and to the nature and scale of the proposed development it is considered that the proposed development would not affect the integrity of the European sites referred to above. Accordingly, it is considered that an Appropriate Assessment is not required.

## 6. Recommendation

In view of the above and having regard to –

- Section 2, 3 and 4 of the Planning and Development Act 2000 (as amended), and
- Articles 6 of the Planning and Development Regulations 2001 (as amended).

The Planning Authority considers that the proposed erection of external insulation works to front of house at 52 Halldene Grove, Bishopstown, Cork is **Development** and is **not Exempted Development**.

Hugh Killen  
Executive Planner

17 December 2024



**COMHAIRLE CATHRACH CHORCAÍ**  
**CORK CITY COUNCIL**

Community, Culture & Placemaking Directorate,  
Cork City Council, City Hall, Anglesea Street, Cork.

**DEVELOPMENT MANAGEMENT**

**CCP**

**25 NOV 2024**

R-Phost/E-Mail [planning@corkcity.ie](mailto:planning@corkcity.ie)

Fón/Tel: 021 4924029

**CORK CITY COUNCIL**

Lionra/Web: [www.corkcity.ie](http://www.corkcity.ie)

**SECTION 5 DECLARATION APPLICATION FORM**

under Section 5 of the Planning & Development Acts 2000 (as amended)

**1. NAME OF PERSON MAKING THE REQUEST**

DAVID TOBIN

**2. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT**

52 HALDENE GROVE, BISHOPSTOWN, CORK, T12A66K

**3. QUESTION/ DECLARATION DETAILS**

**PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:**

Sample Question:

*Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?*

*Note: only works listed and described under this section will be assessed under the section 5 declaration.*

is the addition of external wall insulation (EWI) exempted development on the front wall of the premises

**ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:**

*(Use additional sheets if required).*

Plan in place to have insulation works undertaken as part of SEAI scheme.



4. Are you aware of any enforcement proceedings connected to this site?

If so please supply details:

No.

5. Is this a Protected Structure or within the curtilage of a Protected Structure? ☒ No

If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority? ☐

6. Was there previous relevant planning application/s on this site? ☒ No

If so please supply details:

#### 7. APPLICATION DETAILS

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s	N/A
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 <sup>st</sup> October, 1964, (including those for which planning permission has been obtained)?	Yes <input type="checkbox"/> No <input type="checkbox"/> If yes, please provide floor areas. (sq m)
(c) If concerning a change of use of land and / or building(s), please state the following:	
Existing/ previous use (please circle)	Proposed/existing use (please circle)

#### 7. LEGAL INTEREST

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is 'Other', please state your interest in the land/structure in question	N/A	
If you are not the legal owner, please state the name of the owner if available	N/A	

8. I / We confirm that the information contained in the application is true and accurate:

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

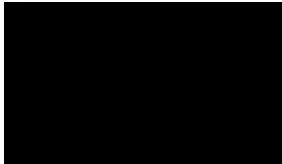
25/11/2024



# Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

David Tobin



10/12/2024

**RE: Section 5 Declaration R900-24 52 Halldene Grove, Bishopstown,  
Cork, T12A66K**

A Chara,

With reference to your request for a Section 5 Declaration at the above-named property, I wish to advise under the provisions of section 5(2)(b) of the Planning and Development Act 2000, as amended, that the following further information is required in order to properly assess this application:

1. A scaled map showing the site address, as the location map provided is illegible.
2. Details on what type of insulation and how will it be applied? Please provide product brochure explaining same.

Is mise le meas,



**David Foley**

**Development Management Section  
Planning & Integrated Development  
Cork City Council**



**We are Cork.**

# NSAI Homeowner Information Leaflet

## External Wall Insulation

Are you considering getting your house insulated?  
Frequently Asked Questions about external wall insulation.

### External Wall Insulation

- What is it?
- Is it approved?
- Do I need Planning Permission?
- Does it effect the structure of my house?
- Is the roof affected?

### What is external wall insulation?

Increasing the amounts of insulation in the external walls and roof of a house will improve its energy efficiency and comfort. There are a number of recognised methods for increasing insulation in external walls, one of which is insulating externally.

Most commonly known as External Thermal Insulating Composite Systems (ETICS), but also referred to as External Wall Insulation (EWI), or External Insulating Finishing Systems (EIFS), external insulation involves fixing insulating materials such as expanded polystyrene slabs or mineral wool to the outer

surface of the walls of a house, usually with a special adhesive and metal or plastic fixings. A base coat embedded with a

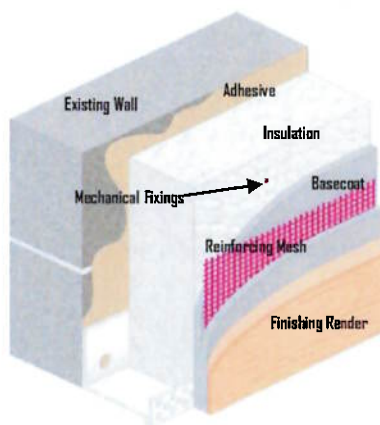


Figure 1

reinforcing fiberglass mesh is applied to this insulation, and this is then covered with a final finishing render to provide weather resistance.

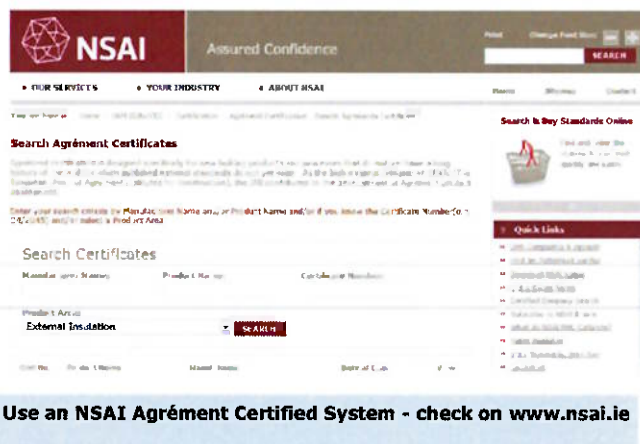
The overall build-up is illustrated in Figure 1.

There are currently a number of different external insulation systems with different component materials being marketed throughout Ireland. It is important that the system used is an approved system and that the installer is an approved installer.

### Inside:

Approved Installers	2
Suitability of wall types	2
Grant availability	2
The effect on roof, windows and doors	3
The effect on services and ventilation	4
Maintenance, BER, Health and Safety	5
About NSAI	6

### How do I know if a proposed external insulation system is approved?



**Use an NSAI Agrément Certified System - check on [www.nsai.ie](http://www.nsai.ie)**

Check to see if the system has a current Agrément Certificate. NSAI Agrément assesses and certifies building products and systems, including external wall insulation systems, for their fitness for purpose, and keeps a list of currently certified systems. This list of Agrément Certificates can be searched on the NSAI website ([www.nsai.ie](http://www.nsai.ie)). The list can be searched by product name, by manufacturer or by certificate number.

**Note** that the installer of the system must also be approved by NSAI.

**Make sure your installer is approved and registered with NSAI, and that an Agrément certified external wall insulation system is used.**

### How do I know if a contractor is an Approved Installer?

To install an NSAI Agrément certified external insulation system, the contractor must be an Approved Installer of the relevant system, and registered as such with NSAI. The contractor must carry out the work in accordance with technical



guides supplied by the material supplier, the conditions set out in the NSAI Agrément certificate, and the requirements of the NSAI Approved Installer scheme. Installers registered with NSAI are audited by NSAI technical staff.

To find out if a contractor is an Approved Installer, go to [www.nsai.ie](http://www.nsai.ie) and check the up-to-date list of all Approved Installers.

Make sure that the contractor is approved to install the specific system proposed.

### Can all houses be insulated externally?

A number of factors must be considered when choosing wall insulation. Depending on their structural make-up, external walls can be insulated externally, internally or in the cavity. Walls without cavities are not suitable for cavity insulation. Walls with cavities

are frequently suitable for pumped cavity insulation.

External wall insulation may be suitable for cavity walls, but measures may need to be taken to ensure the effectiveness of the insulation is not compromised by the ventilated cavity.

External wall insulation application may also be limited due to restrictions included in the NSAI Agrément certificate. The following table outlines suitable and unsuitable wall types. (Your Approved Installer should provide more detailed advice.)

Building systems must be suitable for their intended use and the conditions of use. To demonstrate this, external wall insulation systems must have an appropriate NSAI Agrément certificate as described above. Currently systems certified are only suitable for use on certain wall types as specified here.

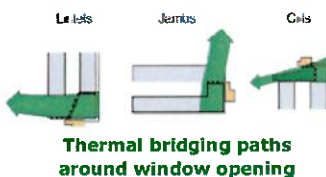
#### Suitable external wall types

Rendered masonry walls; Rendered solid or hollow-block walls; Solid concrete/brick walls; Brick-faced or rendered cavity (where appropriate measures are taken) including partially insulated cavity walls and fully filled cavity walls

#### Unsuitable external wall types

Timber frame walls  
Steel frame walls  
Timber clad walls

### What are the benefits of External Wall Insulation?



Increasing the amounts/levels of wall insulation by whatever method will result in a number of benefits, including a reduction in heating bills and increased comfort levels. With external wall insulation, your home will also be more airtight, so there should be less draughts. Because external insulation usually covers all of

the wall surfaces, thermal-bridging is significantly reduced.

**Note: Thermal-bridging occurs where there are gaps in insulation, resulting in patches of colder internal surfaces which may be subject to condensation and mould.**

There is no disruption to the building interior, and no reduction in internal floor area. With a new finishing coat of render, an ageing exterior finish is renewed. Most external wall insulation systems come with a range of final finishes available, often with an extensive choice of colours and textures.

### Is there a grant available?

A partial grant may be available from the Sustainable Energy Authority of Ireland (SEAI). These grants are subject to certain conditions specified by SEAI. Further information can be obtained from SEAI on 1850 927000 or on [www.seai.ie](http://www.seai.ie)

When getting quotes from contractors, it is important to get confirmation that all works



associated with the application of the external insulation are included, including costs such as those associated with relocation of electricity and gas services, and works to external drainage pipes and outlets.

### How long will the work take to complete?

This will depend on the size of the house. For an average sized semi-detached house of typical

Irish construction, and without any weather delays or delays due to other unforeseen

circumstances, the external insulation work should be complete within a fortnight.

### Do I require Planning Permission to install external wall insulation?

It depends on the circumstances. In many cases it may be that the external insulation work is exempt from planning requirements. This would be the case if Section 4 (1) (h) of the Planning and Development Act 2000 applied. This Section could provide an exemption for external insulation if it:

***"constituted works which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures".***

Even though a layer of external insulation is being fixed to the outside of your home, the

finishing render may ensure that the external appearance has not been materially affected. The local authority planning office should be consulted if there is any doubt in this regard. The planning office should also be consulted where the building is in an Architectural Conservation Area, or if the structure is protected.

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Planning may be required depending on circumstances. Check with your Local Authority Planning office.

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### So after the insulation is fitted, my walls will be thicker?

Yes, the walls will be thicker. The increase in the thickness will depend on the target u-value and the conductivity of the insulating materials used, and on the final render finish.

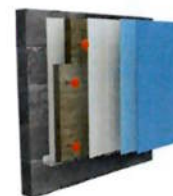
### What will be the effect on windows and doors?

For an external wall insulation system to be at its most effective, all external surfaces should be insulated. This includes all surfaces around the doors and windows. Therefore the reveals, heads, and cills must all be insulated.



This will require the partial removal of the existing cills and their replacement with new over-cills, certified for use with the relevant ETICS.

All certified systems include details illustrating how new window cills are installed.



The width of the outside walls will be increased - note that different systems use different types of insulation, most commonly white or grey expanded polystyrene, and mineral wool insulation board.

### Will the roof be affected?



In some circumstances, the roof line may need to be altered / extended to cater for the extra wall thickness. Your installer will advise you in this regard. The typical roof should also be adequately ventilated; any works undertaken should not compromise existing ventilation provisions, and new roof vents

should be installed if necessary. Roof vents may be in the form of continuous strip vents or a series of regularly spaced circular or rectangular ventilation openings and may be fitted with a screen, fascia, baffle, etc. The ventilation openings should be positioned to promote cross ventilation, and care should be taken to ensure the openings are not obstructed by roof insulation.

Your Approved Installer should identify any issues that arise in this area during the site survey

prior to commencement of works, and should advise accordingly.





### What about external drainage pipes, downpipes and gulleys?

External drainage pipes will generally have to be relocated as the wall thickness will be increased on the outer face.

Where gulleys are impeded by the insulation, they may need to be relocated. These issues should be identified during the

site survey prior to any works starting, as there could be significant cost implications.



**Existing meter boxes, downpipes and gulleys may have to be relocated**

### What about electricity and gas services and meter boxes?

Your house is most likely connected to the ESB network by means of an overhead cable and a clipped service cable, or by means of a wall box and a clipped service cable. These are often attached to the front or gable wall. For Health and Safety reasons, external wall insulation must not be installed over electricity wires and cables as this creates a number of safety hazards, including a potential fire hazard. The external wall insulation installer

is not permitted to interfere with ESB Networks wires, cables or equipment and any alterations can only be carried out by suitably trained ESB Networks' personnel. ESB Networks' personnel may also be required to move any meter boxes on external walls depending on the circumstances. Accordingly, where electricity wires or cables are attached to external walls or soffits you must contact ESB Networks (phone 1850 372

757) well in advance of the works commencing in order to arrange for the required alteration.

For houses with natural gas installations, Bord Gais Networks must be contacted on 1850 200694. They will then provide the necessary assistance to either move the meter box to a suitable alternative location or temporarily remove and then refit the meter box on completion of the works.

**Keeping your home adequately ventilated is vitally important to ensure a safe, healthy and comfortable living environment**

### How will getting my walls insulated externally affect the ventilation of my home?

All homes require appropriate levels of ventilation. Ventilation is required to ensure there is enough fresh air:

- For a healthy and comfortable home,
- For the safe operation of fuel burning appliances
- To minimise the risk of condensation, and
- To remove or dilute pollutants that can accumulate.

Traditionally houses in Ireland have been ventilated adequately through a combination of planned and unplanned ventilation. Planned ventilation included openable windows, wall vents, window vents, extract fans etc. Unplanned ventilation came from draughts in leaky buildings. Together these were generally sufficient to avoid the problems associated with lack of ventilation such as condensation and mould growth.

More modern homes have been constructed with a greater focus on energy efficiency, and

therefore can be more airtight, with the essential ventilation being provided through planned ventilation.



**Typical controllable background vent in**

When external insulation is applied to an existing dwelling, it substantially increases the air tightness of the home. While this can be and is an advantage of the system, it is vitally important that action is taken to ensure that minimum levels of ventilation required are maintained.

Before starting any work, the approved installer should carry out an assessment of the existing ventilation provisions and should inform the homeowner if there is insufficient ventilation,

or if the existing ventilation has been adversely affected by prior actions, highlighting in particular any inadequacies in ventilation of rooms with fuel-burning/heat-producing appliances. The external Insulation should then be applied without compromising any existing ventilation provisions. Improvements to ventilation provisions should be carried out with the prior agreement of the homeowner before the installation of the external insulation or by the Approved Installer during the work.

Guidance on minimum amounts of background ventilation is provided in the Building Regulations. Your Approved Installer will be aware of the minimum requirements, and will advise accordingly.



**Extractors may be needed**



**Lack of adequate ventilation can lead to mould growth due to condensation**

### Is maintenance of the external insulation required?

External insulation systems must be maintained after installation. As well as regular inspections (at least annually)

of sealants, all necessary repairs (due to accidental damage etc.) should be carried out immediately. The installer

will furnish the homeowner with a Homeowner's Manual, which will include the maintenance instructions.

### Will I be able to fix external fittings to the walls after the work is complete?

Yes, but generally it will be necessary to drill through the external insulation and into the existing masonry

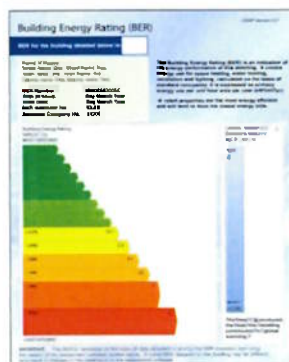


structure to ensure the fixing is strong enough. The Homeowners' Manual as provided by the

installer will contain further instructions and details on external fixtures and fittings.

### Will my Building Energy Rating (BER) be better after the work is completed?

When a building is constructed, sold or rented a Building Energy Rating (BER) detailing its energy consumption must be made available to the prospective buyers or tenants. A BER allows prospective buyers or tenants to factor energy performance and costs into their comparison of different properties. The Building Energy Rating (BER) of a dwelling is calculated using a specially designed software tool which takes into account a range of factors which influence the energy consumption of the dwelling, including u-values.



The installation of external wall insulation will result in an improved u-value for the external walls of your home.

A u-value is a measure of how much heat is conducted through a structure. A lower u-value means less heat is conducted through the wall. The target u-value after the installation of external wall insulation is currently generally 0.27 W/m K or better (i.e. lower). Lower values can be often be achieved at a small percentage of the overall price. Generally because the u-value of the walls has decreased, the BER of the dwelling is significantly improved after external insulation has been installed.

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**External fittings such as flower baskets, satellite dishes etc. must be fixed in accordance with the manufacturer's instructions**

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### What are the implications from a Health & Safety perspective?

The Approved Installer has full responsibility for ensuring compliance with all relevant Health and Safety Legislation, and must carry out all work in accordance with the regulations and guidelines. All contractors' staff must be appropriately trained to operate to these standards. The contractor must have a current Health and Safety Statement available for inspection. Safe working

practice for employees, customers, and the public must be followed at all times, appropriate equipment must be used safely, and equipment and materials must be stored properly. Your Approved Installer is required to pay particular regard to Health and Safety procedures and practices when carrying out works in vulnerable households and where children, the elderly or

the general public may be directly affected by the progress of works. The Approved Installer should also check that Carbon Monoxide alarms comply with the EN 50291 standard (CO alarms do not obviate the need for regular maintenance and inspection of chimneys, flues, vents and appliances by the homeowner).

### Will NSAI check that the work is carried out to the correct standard?

No. The primary contract is between you and the installer of the external insulation. NSAI have carried out audits on Approved Installers and are satisfied that they are compe-

tent to install external insulation, but it is not possible to check every project. Nor do NSAI provide this service. If you have any concerns it is recommended that you should

engage a building professional with expertise in the area of external insulation to act on your behalf while works are being carried out.



## NSAI Agrément Registered Installers

NSAI Agrément work closely with Government Departments and agencies in supporting Government initiatives to improve energy performance of buildings. A number of installer schemes have been developed whose aim is to verify the competency of installers carrying out improvements to dwellings. Grant aid may be available for building improvements under the Sustainable Energy Authority of Ireland's About Better Energy Homes (Formerly Home Energy Saving Scheme). All works must be designed and installed as per the National Building Regulations.

NSAI Agrément offer registration to installers of Blown Loft Insulation, Full Fill Cavity Wall Insulation and External Insulation. To search a full list of all products and systems certified by NSAI Agrément go to Search Agrément Certificates.

[www.nsaie.ie](http://www.nsaie.ie)

### General Note

Greater energy savings may be achieved by extending the external insulation below the underside of your ground floor and up past the soffit board. It is also possible to move the windows out to meet the back of the external insulation and again greater energy performance may be achieved. However these measures will incur additional costs which may offset any potential savings. It is recommended that professional advice on these measures be sought.

## In Summary

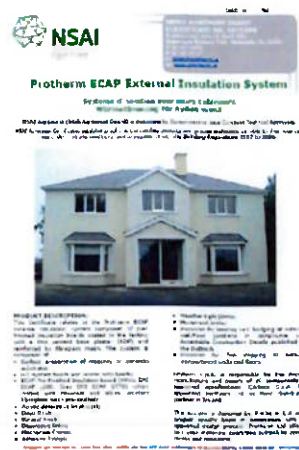
External Wall Insulation is a proven method of upgrading the walls of a home to improve the overall energy efficiency of the building. It comprises fixing a layer of insulation to the outside of the walls of your house, which is then covered with a special, mesh-reinforced base-coat and a render. There are a number of different systems with their own specific characteristics available, such as different types of insulation and different finishing renders. It is important to check that the system chosen is appropriately certified.

An NSAI Agrément certified system will have been fully assessed for its fitness for purpose and compliance with Building Regulations.

During the assessment process, NSAI Agrément consider a range of factors, such as design life, impact resistance, energy efficiency (u-values), fire resistance, resistance to spread of flame, resistance to moisture penetration etc.

Systems that are certified by NSAI Agrément will therefore have been rigorously tested to demonstrate suitability for use.

Prospective customers are advised to research the different systems available before making a choice, and to secure quotations only from contractors who are listed on the most up-to-date NSAI list of Registered Approved Installers.



**Illustration of the front cover of a typical NSAI Agrément certificate.**

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↑  
NORTH

