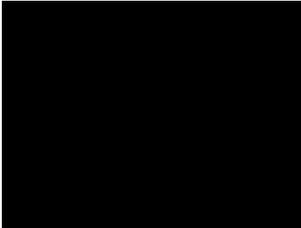




# Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997



24/02/2026

**RE: Section 5 Declaration: R1007/25, 53 Castle Avenue, Muskerry Estate,  
Ballincollig, Cork. P31 E938**

A Chara,

With reference to your request for a Section 5 Declaration at the above-named property, received on the 8<sup>th</sup> of December 2025.

The Question before the Planning Authority is whether external wall insulation is development, or is it exempted development?

In considering this referral the Planning Authority had regard to:

- (a) Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended);
- (b) Articles 6 and 9 of the Planning and Development Regulations 2001, (as amended);
- (c) Section 4(1)(h) of the Planning and Development Act 2000 (as amended);
- (d) Further Information received on 03.02.2026 and
- (e) The existing character of the dwellinghouses in the area.



**We are Cork.**



# Comhairle Cathrach Chorcaí

## Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

The Planning Authority has concluded that –

- (a) the works constitute development which come within the scope of Section 3(1) of the Planning and Development Act 2000 (as amended);
- (b) the installation of external insulation on the brick feature constitutes '*works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures*' as per Section 4(1)(h) of the Planning and Development Act 2000 (as amended)

Therefore, the Planning Authority decides that –

- (a) the installation of external insulation on the brick feature **IS DEVELOPMENT** and **IS EXEMPTED DEVELOPMENT**

at 53 Castle Avenue, Muskerry Estate, Ballincollig, Cork.

Is mise le meas,

*Anthony Angelini*

**Anthony Angelini**  
**Assistant Staff Officer**  
**Planning & Integrated Development**  
**Cork City Council**



**We are Cork.**

Application type	<b>SECTION 5 DECLARATION</b>
Question	<i>Whether the installation of external insulation on the brick feature is or is not development and is or is not exempted development.</i>
Location	53 Castle Avenue, Muskerry Estate, Ballincollig. P31 E938
Applicant	Helen Creedon

## 1. REQUEST FOR FURTHER INFORMATION

This report should be read in conjunction with my previous report which recommended that Further Information be sought. A request for Further Information was made in respect of this application on 15/01/2026 as per the following:

1. Please clarify whether the external insulation is to be applied to all parts of the external walls – front side and rear.
2. Please clarify the finish of the proposed insulation i.e. smooth render/rough dash or pebble dash including colours of same – i.e. will it match the existing first floor finish?
3. Please submit details on the proposed depth of the external insulation.

## FURTHER PLANNING ASSESSMENT

The applicant responded to the F.I. request, and it was received on 03.02.2026 as follows:

1. External insulation on all walls front and rear. Not on side wall with neighbour on west side. No. 51 Castle Ave.
2. Finish, rough dash in sandy-cream colour to match as closely as possible existing finish.
3. External insulation depth, 100mm.

The question is assessed below:

Section 4(1)(h) of the Act provides that development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the

external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.

External insulation is considered to come under maintenance, and its acknowledged it will be an improvement to the energy efficiency of the house. The addition of external insulation to this dwelling will alter the external appearance of the house, however. The test is whether it would materially affect the external appearance of the building so as to render the appearance inconsistent with the character of the dwelling, or of neighbouring or surrounding dwellings.

In terms of whether the works would render the appearance inconsistent with the character of the dwelling, I would refer to case law (Cairnduff v. O’Connell, 1986), in which the matter of the character of the structure was discussed. The key elements of character to which the Supreme Court had regard included shape, colour, design, ornamental features and layout.

In terms of the character of the house and the neighbouring houses, the application site is a semi-detached dwelling with a single storey attached garage/extension to the west side in an established residential area. The house is part of a row of houses, some of which are facing an open communal green area. The external finish of the front elevation of the property is a brown, but mostly grey, stone cladding on the lower front elevation, with a pale pebble dash at first floor level. It is considered that all the houses on the street would have had the same finishes and a strong sense of uniformity and consistency upon construction.

Currently, the adjoining dwellings have this stone clad finish and pebble dash upper level, as does the proposal property. However, there are a number of properties in the wider estate that have changed their front elevation material to pebble dash or painted render on the entire front elevation.

Cumulatively, there are other alterations to the properties adjoining the proposal property. Fenestration, driveway, garden, boundary wall and side extensions are all alterations that have occurred over the years since the properties were built. These adjustments result in a row of houses with alterations that have occurred over the years of small changes. While there are some remaining elements of uniformity and consistency in the house’s form, ridge height, window design and some compatibility in terms of their overall character and elevational treatment, there are variances to the houses and some erosion of the original character and uniformity.

It is concluded that the character of the structure or of neighbouring structures is determined by more than the stone cladding feature. It is therefore considered that the change from stone cladding to ‘rough dash in sandy-cream colour to match’ to allow for the external insulation on the front and rear elevation will not materially affect the external appearance of the structure and that the works proposed can be considered exempt under Section 4(1)(h) of the Planning and Development Act 2000 (as amended) as they are works that do not materially affect the external appearance of the structure

so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.

Therefore, the proposal is considered in this case to be exempted development.

**Conclusion:** Is exempted development.

### **FURTHER ENVIRONMENTAL ASSESSMENT**

Pursuant to article 103(1) of the Planning and Development Regulations 2001 as amended, having regard to the nature and scale of the proposed development and following a preliminary examination of, at the least, the nature, size or location of the proposed development, it is considered that there is no real likelihood of significant effects on the environment and it is consequently concluded that E.I.A. is not required.

It is not considered that the response to the F.I. gives rise to a significant change or modification to the proposed development so that it would now have a significant impact on a European Site, or that it would require environmental impact assessment. Consequently, it is considered that appropriate assessment and environment impact assessment are not required.

### **CONCLUSION**

In considering this referral the Planning Authority had regard to:

- (a) Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended);
- (b) Articles 6 and 9 of the Planning and Development Regulations 2001, (as amended);
- (c) Section 4(1)(h) of the Planning and Development Act 2000 (as amended);
- (d) Further Information received on 03.02.2026 and
- (e) The existing character of the dwellinghouses in the area.

The Planning Authority has concluded that –

- (a) the works constitute development which come within the scope of Section 3(1) of the Planning and Development Act 2000 (as amended);
- (b) the installation of external insulation on the brick feature constitutes ‘*works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures*’ as per Section 4(1)(h) of the Planning and Development Act 2000 (as amended)

Therefore, the Planning Authority decides that –

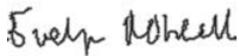
- (a) the installation of external insulation on the brick feature is development and is exempted development

at 53 Castle Avenue, Muskerry Estate, Ballincollig, Cork.

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Sarah Carroll,  
Graduate Planner,  
24/02/2026

I concur with the above assessment and conclusion.

  
Evelyn Mitchell  
S.E.P.  
24.02.2026

**SECTION 5 DECLARATION APPLICATION FORM**  
under Section 5 of the Planning & Development Acts 2000 (as amended)

53 Castle Ave, Muskerry Estate, Ballincollig, Cork  
P31E938

**2. QUESTION/ DECLARATION DETAILS**

**PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:**

Sample Question: *Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?*

*Note: only works listed and described under this section will be assessed under the section 5 declaration.*

EWI- External Wall Insulation to be placed on front wall of house.

**ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:**

*(Use additional sheets if required).*

Other houses in my estate have EWI on front wall of house. It will be easier for me and prevent moving and redesign of built-in cabinets, and having to redecorate inside, if IWI- Interior Wall Insulation were used. Also, I have a special needs daughter, who would not respond well to disruption indoors.

3. Are you aware of any enforcement proceedings connected to this site?

If so please supply details: No

6. APPLICATION DETAILS

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s	122m2 (77m2 ground floor, 45m2 first floor).
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 <sup>st</sup> October, 1964, (including those for which planning permission has been obtained)?	Yes <input type="checkbox"/> No <input type="checkbox"/> If yes, please provide floor areas. (sq m) _____
(c) If concerning a change of use of land and / or building(s), please state the following:	
Existing/ previous use (please circle) ----- ----- -----	Proposed/existing use (please circle) ----- ----- -----

8. LEGAL INTEREST

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is 'Other', please state your interest in the land/structure in question		
If you are not the legal owner, please state the name and address of the owner if available		

9. I / We certify that the information provided in this application is true and accurate:

## CONTACT DETAILS

### 10. Applicant:

	-- -- --
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### 11. Person/Agent acting on behalf of the Applicant (if any):

<b>Name(s):</b>	
<b>Address:</b>	----- ----- -----
<b>Telephone:</b>	
<b>E-mail address:</b>	
<b>Should all correspondence be sent to the above address?</b> <small>(Please note that if the answer is 'No', all correspondence will be sent to the Applicant's address)</small>	Yes <input type="checkbox"/> No <input type="checkbox"/>

### 12. ADDITIONAL CONTACT DETAILS

The provision of additional contact information such as email addresses or phone numbers is voluntary and will only be used by the Planning Authority to contact you should it be deemed necessary for the purposes of administering the application.

#### ADVISORY NOTES:

The application must be accompanied by the required fee of €80

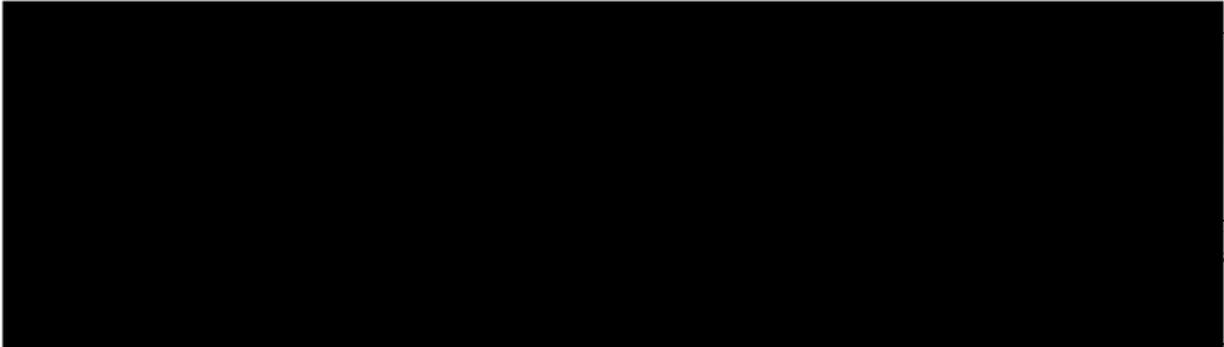
The application should be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.

Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.

*The application should be sent to the following address:*

**The Development Management Section, Community, Culture & Placemaking Directorate,  
Cork City Council, City Hall, Anglesea Street, Cork.**

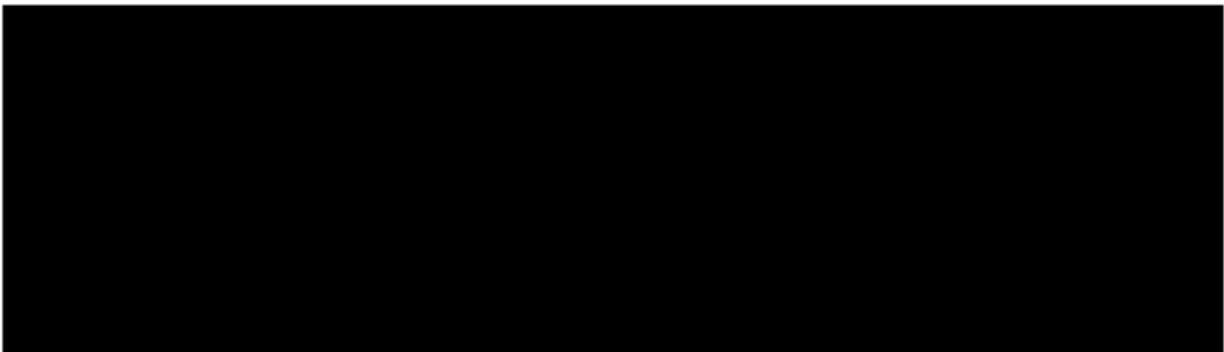
- The Planning Authority may require further information to be submitted to enable the authority to issue the declaration.



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*The application form and advisory notes are non-statutory documents prepared by Cork City Council for the purpose of advising as to the type information is normally required to enable the Planning Authority to issue a declaration under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations 2001 as amended.*

**DATA PROTECTION:** The use of the personal details of planning applicants, including for marketing purposes, may be unlawful under the Data Protection Act 1988-2003 and may result in action by the Data Protection Commissioner against the sender, including prosecution.





*The perfect thermal insulation*



*Baumit External Wall Insulation*  
***Warm in winter,  
cool in summer***



# Efficient thermal insulation

The most effective method for creating a healthy living space is to efficiently insulate the façade. The better the insulation, the more comfortable it will be. This is good for our health and reduces energy consumption.

## **Efficient thermal insulation**

A complete thermal insulation system or external wall insulation system (EWI), is a system consisting of tested components for insulating the exterior of buildings. It represents an excellent long-term investment in your house. You benefit immediately from a better quality of life and reduce your energy costs from the very first hour.

## **A complete system**

Baumit offers high-quality Baumit EWI systems consisting of efficient insulating materials, proven adhesives and innovative topcoats. External wall insulation systems protect your walls from external influences and ensure a stress-free, dry wall structure. But above all, good insulation keeps the inside temperature consistent.

## **Warm in winter - cool in summer**

In the summer, it provides optimal thermal protection and keeps the walls from overheating. In the winter, it helps the walls to stay warm. High-quality plaster systems are then applied that protect against weathering.





# Benefits of EWI



## Room temperature

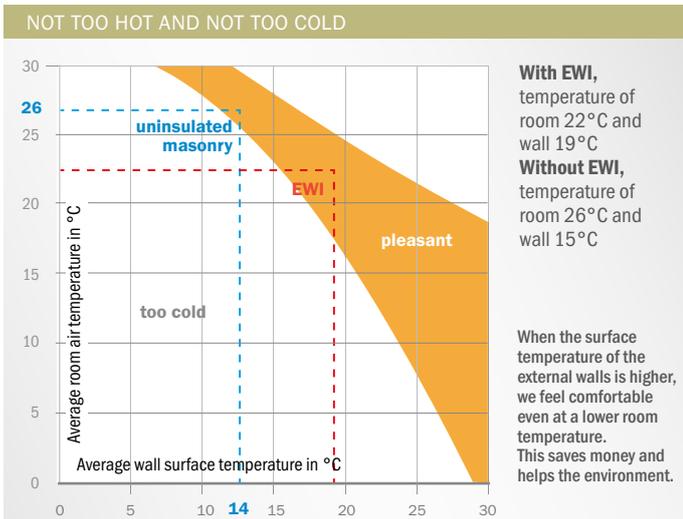
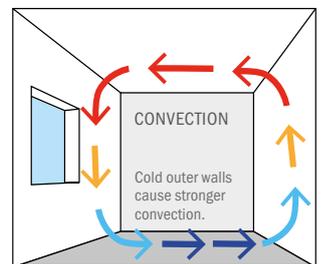
How warm or cold we find a room depends on two factors: the air temperature and the surface temperature of the indoor walls.

Without insulation the internal wall surface will remain below the internal air temperature having a noticeable effect on comfort. To enhance comfort, constant heating will be required hugely impacting energy costs. When exterior walls are well insulated, the surface temperature of the internal walls can closely match in the indoor air temperature, even in winter.

## Lower convection

For the most pleasant and comfortable room temperature, a difference between the air and surface temperature of a wall should be no more than 3°C.

Anything greater than 3°C will lead to unpleasant air currents caused by warm air, followed by cold air rising – known as convection. But the installation of thermal insulation can reduce this effect and increase comfort without the need for additional heating.



## COLD WALLS CAUSE DISCOMFORT

Which temperature for which room?	
Room	Optimum temperature
Living rooms and studys	20 - 22°C
Bedroom	17 - 18°C
Children's room	20 - 22°C
Kitchen	18°C
Bathroom	23°C
Cellar	10 - 15°C



### Air humidity

As well as temperature, the right humidity is also important for achieving the perfect indoor climate. This should ideally be between 40 and 60%.

If below 30% the low humidity causes the nose and throat to dry out and can also lead to dry eyes. Additionally, wooden floors and furniture can dry out and encourage more dust, allowing bacteria and viruses to remain suspended in the air for longer, increasing the risk of bad health.

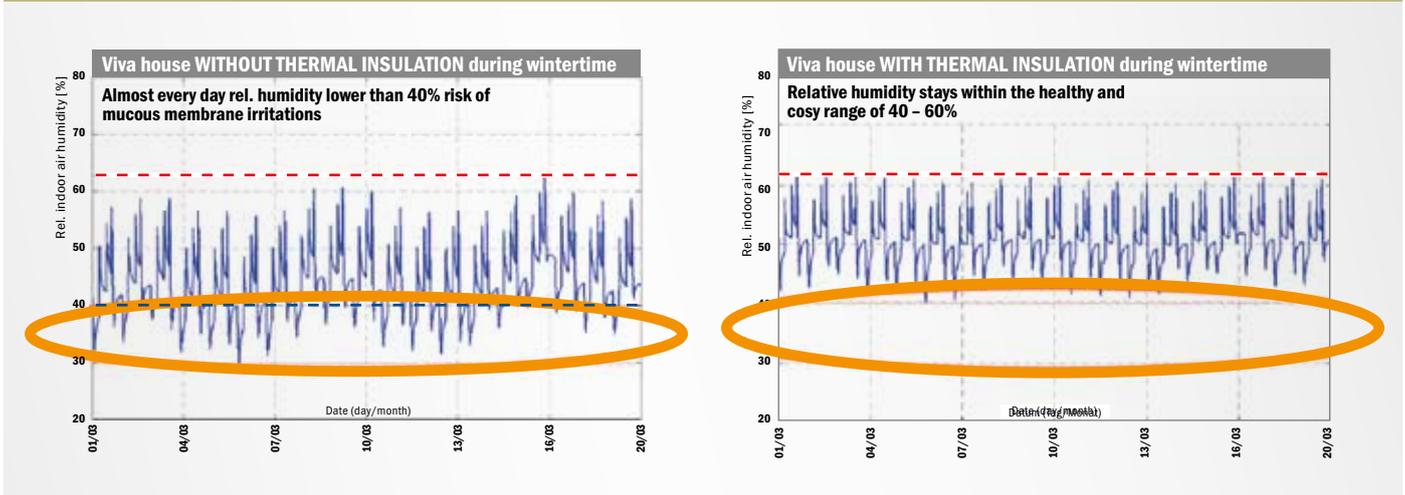
If humidity is too high, the air can become unable to adequately absorb moisture dispersed in the room leading to condensation and the formation of mould, especially during cold weather. This can have

huge effects on health; mould increases the risk of developing asthma by 50% and the risk of allergies by 30%.

But thermal insulation has a positive effect on relative humidity, by creating a balanced room climate.



### EXTERNAL WALL INSULATION REGULATES HUMIDITY





### Mould prevention

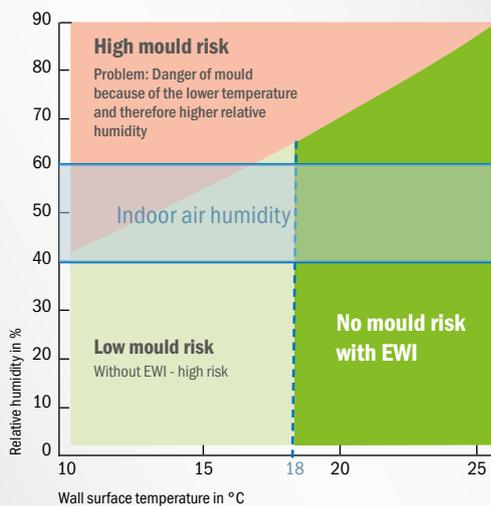
Mould spores are always present inside houses, but it is when they are met with damp that they become harmful and can contribute towards poor health and allergic reactions. Moisture creates the perfect breeding ground for mould, so getting the right balance of warmth and humidity is key to reducing the risk of condensation.

The combination of effective thermal insulation and the right choice in plaster system, such as Baumit Klima internal plasters which are lime based with climate-regulating and mould preventing

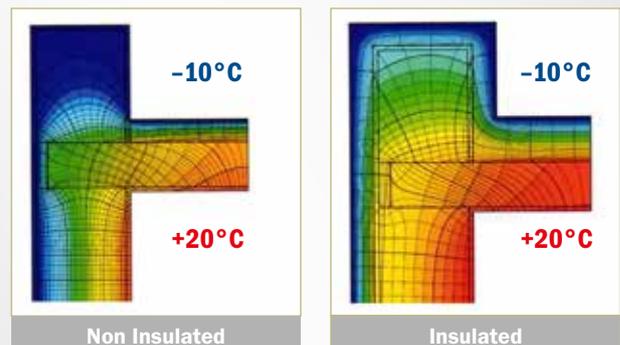


properties, will allow you to create a healthy living environment.

### IDEAL INDOOR CLIMATE



### THERMAL BRIDGES





### Energy Saving

Badly insulated, and more particularly, uninsulated buildings allow much of the expensively generated heating to escape via the roof and facades. But with the correct insulation there will be an enormous improvement on internal comfort and energy savings on heating.

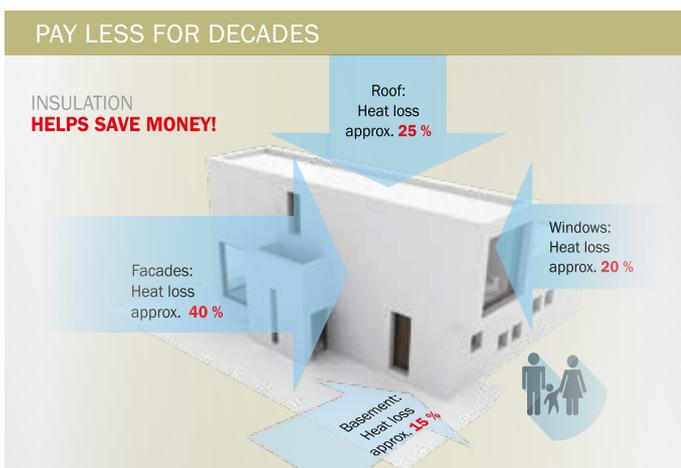
You can reduce your energy costs by 50% by making thermal improvements to your house - minimise heating costs during the winter months and reduce air conditioning during the summer months and save all year round. And if you are building a new home, it is even possible to a Passive House or zero energy home.

### Reduce Construction Costs

Selecting the right external wall insulation system during the planning process can save not just time but also money when it comes to build costs.

An EWI system makes it possible to slim down the thickness of the masonry, reducing brick thickness and hence construction costs. You will also save in the long-term as an EWI system protects the masonry like a reinforcing layer, providing protection from temperature fluctuations, weathering and driving rain. Additionally, EWI requires less little maintenance overtime.

The benefits of EWI really are many.



# Insulation First

# **Baumit External Wall Insulation Systems**



- Effective thermal insulation
- High energy saving potential
- Protection of the building structure
- Heat protection in summer
- Increase property value
- A comfortable indoor climate throughout the year
- Freedom of design & creativity

## SYSTEMS

To help create a comfortable, ambient room temperature, Baumit has created a wide variety of EWI systems: For the insulation of any kind of home, including high-rises. All systems can be customised to suit the corresponding substrate to achieve the desired effects and characteristics.

## COMPONENTS

Well aligned Baumit components guarantee a long lasting thermal solution. It is crucial to choose the right adhesive and reinforcing mortar, which is perfectly coordinated with both the insulation material and the substrate. Baumit offers the right products for every application and every requirement, a range of topcoats as well as a wide range of accessories to perfectly complete your External Wall Insulation (EWI) System.

# EWI Systems

	OPENSYSTEM	STARSYSTEM EPS	STARSYSTEM MINERAL
	 	 	 
	<ul style="list-style-type: none"> <li>■ Unique OpenAir technology</li> <li>■ Breathable</li> <li>■ New build and refurbishment</li> </ul>	<ul style="list-style-type: none"> <li>■ BBA approved system</li> <li>■ Flexibility and protection</li> <li>■ Available in a wide range of solutions</li> </ul>	<ul style="list-style-type: none"> <li>■ BBA approved system</li> <li>■ Fireproof</li> <li>■ Highly permeable</li> </ul>
ADHESIVE	<b>StarContact White</b>	<b>StarContact White</b>	<b>StarContact White</b>
INSULATION	<b>OpenTherm</b>	<b>StarTherm</b>	<b>Mineral Wool EWI Slab</b>
FIXINGS	StarTrack	STR U 2G	STR U 2G
BASECOAT	<b>StarContact White</b>	<b>StarContact White</b>	<b>StarContact White</b>
REINFORCEMENT	StarTex	StarTex	StarTex
PRIMER	PremiumPrimer	PremiumPrimer*	PremiumPrimer*
TOPCOAT	<b>StarTop / SilikonTop</b>	<b>StarTop / SilikonTop</b>	<b>StarTop / SilikonTop</b>

The external wall insulation systems must be applied in accordance with Baunit recommendations and current best practice. Refer to Baunit Product Data Sheets for further information.

## STARSYSTEM NATURE



- Wood fibre for natural insulation
- Highly breathable
- 100% recyclable

**StarContact**

**StarTherm Nature**

STR U 2G

**StarContact**

StarTex

PremiumPrimer\*

**StarTop**

## POWERSYSTEM



- High impact resistance
- For extreme requirements
- Cement free

**StarContact White**

**StarTherm**

STR U 2G

**PowerFlex**

StarTex

PremiumPrimer\*

**StarTop**

## PLINTHSYSTEM



- Water-repellent
- Resistant to mechanical stresses
- Ideal for renovation

**StarContact White / BituFix 2K**

**PlinthTherm**

STR U 2G

**StarContact White**

StarTex

PremiumPrimer\*

**MosaikTop &  
DS 26 Flex (sealing layer)**

ADHESIVE

INSULATION

FIXINGS

BASECOAT

REINFORCEMENT

PRIMER

TOPCOAT

\*UniPrimer can be used as a substitute to PremiumPrimer



Baunit OpenSystem

# Breathable insulation



- **Unique Open technology**
- **Breathable**
- **Cosy healthy climate**

Whether you are building a new home or refurbishing an old one, Baunit OpenSystem is the best solution. All components are vapour permeable and thus allow the walls to breathe. This creates optimal living conditions whether in summer or winter.

The Baunit OpenSystem uses EPS boards containing numerous holes of about 2 to 3mm diameter. These ensure high vapour permeability and enable water vapour to be released externally.

## 99% air

The OpenSystem consists of 99% air and only a small proportion of EPS, which in turn requires very little energy to produce, therefore resulting in low environmental impact.

## How it works

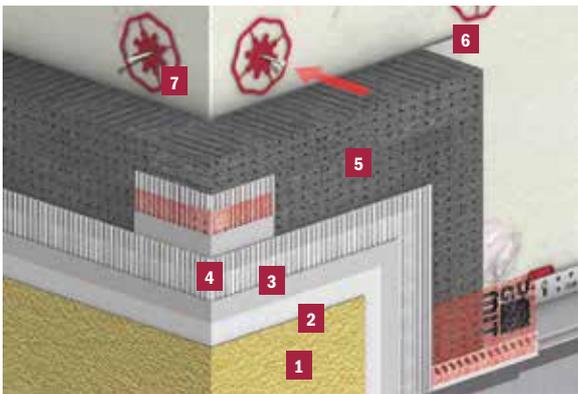
In addition to the temperature, an important factor in enabling a comfortable living climate is relative humidity. With typical indoor temperatures of between 19 and 22°C, humidity should be between 40 to 60%. Therefore approximately 10 litres of water vapour per household per day needs to be diffused to the outside. Baunit OpenSystem with its high breathability ensures a comfortable indoor climate.

## A façade that lasts

The Baunit OpenSystem has some notable features that help buildings to not only perform well but also to look good for many years to come.

The Baunit OpenSystem combines the best fixing technology, vapour permeability and high performance insulation. It helps to create a building that will last for decades to come.





- ### BENEFITS
- Complete wall build-up
  - Breathable and highly vapour permeable
  - Prevents condensation from water vapour
  - Ensures a comfortable indoor living climate



SYSTEM COMPONENTS		
<b>1</b>	<b>Baumit StarTop</b> Easy to apply topcoat render  <b>Baumit SilikonTop</b> Easy to apply silicone resin render	
<b>2</b>	<b>Baumit PremiumPrimer</b> Superior quality primer	
<b>3</b>	<b>Baumit StarContact White</b> Vapour permeable adhesive and basecoat reinforcing mortar	
<b>4</b>	<b>Baumit StarTex</b> High performance reinforcing mesh	
<b>5</b>	<b>Baumit OpenTherm</b> Vapour permeable EPS façade insulation board	
<b>6</b>	<b>Baumit StarContact White</b> Vapour permeable adhesive and basecoat reinforcing mortar	
<b>7</b>	<b>Baumit StarTrack</b> Unique supplementary anchor fixing	



Baumit StarSystem EPS

# The classic solution

- **BBA approved system**
- **Flexibility and protection**
- **Offers a broad range of solutions**

Baumit StarSystem EPS provides great flexibility as well as good impact resistance and combines all Baumit's experience as a pioneer in External Wall Insulation systems.

#### **An investment in the future**

The combination of a comfortable indoor climate and energy efficiency leads to an improved quality of life for the buildings occupants. Baumit StarSystem EPS helps to increase the value of a building by offering insulation together with an attractive façade.

#### **A durable basecoat**

Baumit StarContact white adhesive and reinforcing mortar ensures that the façade remains adhered to the brick/blockwork no matter what the temperature fluctuations, wind speeds or other environmental challenges may be. It is elastic and flexible and so, over time, it stretches and flexes as required and offers excellent resistance to objects that impact the surface.

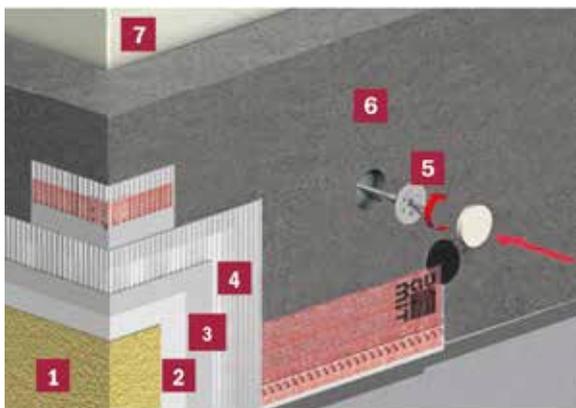


#### **Superior quality**

Baumit PremiumPrimer can be used with all organic and mineral decorative finishes, for pretreatment of hard or absorbent mineral substrates as well as for the preparation of coloured substrates.

The grey EPS façade insulation board, Baumit StarTherm consists of expanded polystyrene. It is highly vapour permeable and has excellent insulating properties.





## BENEFITS

- BBA approved system
- Excellent flexibility and impact resistance
- Weatherproof
- Easy to apply
- Security for generations



## SYSTEM COMPONENTS

- |          |   |   |
|----------|---|---|
| <b>1</b> | <p><b>Baumit StarTop</b><br/>Easy to apply topcoat render</p> <p><b>Baumit SilikonTop</b><br/>Easy to apply silicone resin render</p> |   |
| <b>2</b> | <p><b>PremiumPrimer</b><br/>Ready-to-use superior quality primer</p>  |  |
| <b>3</b> | <p><b>Baumit StarContact White</b><br/>Vapour permeable adhesive and basecoat reinforcing mortar</p>                                  |  |
| <b>4</b> | <p><b>Baumit StarTex</b><br/>High performance reinforcing mesh</p>  |  |
| <b>5</b> | <p><b>Baumit STR U 2G*</b><br/>Screwed anchor fixing<br/><i>*Depending on substrate</i></p>   |  |
| <b>6</b> | <p><b>Baumit StarTherm EPS</b><br/>Grey EPS façade insulation board</p>   |  |
| <b>7</b> | <p><b>Baumit StarContact White</b><br/>Vapour permeable adhesive and basecoat reinforcing mortar</p>                                  |  |



Baumit StarSystem Mineral

# The all-rounder

- BBA approved system
- Fire resistant
- Highly permeable

Baumit StarSystem Mineral is a mineral external wall insulation system suitable for all building classes.

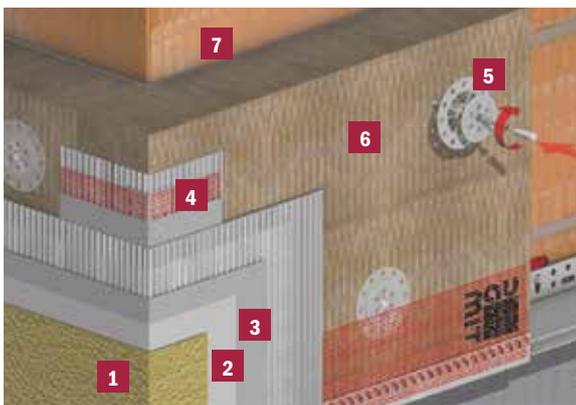
Mineral wool boards when used as a thermal insulation layer are covered with a reinforcing layer consisting of a basecoat and fibreglass mesh. The weather-resistant top coat is applied over this.



### Mineral external wall insulation

The insulation board Mineral Wool EWI Slab contains no combustible components. They are made of mineral wool fibres, which are bonded to a board with resins. The system stands out due to its excellent sound and fireproofing properties as well as being highly vapour permeable. It noticeably improves the indoor climate.

Baumit StarSystem Mineral can be applied to all substrates. It is suitable for old and new buildings as well as for single and multiple family homes, and also for commercial construction.



### BENEFITS

- BBA Approved system
- Suitable for all load-bearing substrates
- Non-combustable
- Excellent physical properties
- Sound proofing properties
- Excellent vapour permeability



### SYSTEM COMPONENTS

<b>1</b>	<p><b>Baimit StarTop</b> Easy to apply topcoat render</p> <p><b>Baimit SilikonTop</b> Easy to apply silicone resin render</p>	
<b>2</b>	<p><b>Baimit PremiumPrimer</b> Superior quality primer</p>	
<b>3</b>	<p><b>Baimit StarContact White</b> Vapour permeable adhesive and basecoat reinforcing mortar</p>	
<b>4</b>	<p><b>Baimit StarTex</b> High performance reinforcing mesh</p>	
<b>5</b>	<p><b>Baimit STR U 2G*</b> Screwed anchor fixing <i>*Depending on substrate</i></p>	
<b>6</b>	<p><b>Mineral Wool EWI Slab</b> High grade mineral fibre insulation boards.</p>	
<b>7</b>	<p><b>Baimit StarContact White</b> Vapour permeable adhesive and basecoat reinforcing mortar</p>	



## Baunit StarSystem Nature

# Renewable resource

- **Wood fibre for natural insulation**
- **Highly breathable**
- **Noise reduction**

Meeting the strictest health and environmental standards, the Baunit NatureSystem is an ecological alternative. Wood, a sustainable material, is the central component of this system. This protects valuable natural resources and helps to reduce CO<sub>2</sub> emissions.

### **Free from additives**

The core of the system is made up of the StarTherm Wood-fibre insulation boards. The multi-layered insulation boards are produced without any artificial binders. The timber's own lignin serves to bind the wood fibres together. During production, the fine wood fibres are heated whilst being pressed so that the lignin becomes fluid and glues the wood particles together during cooling.

### **Excellence in every respect**

The good thermal values, vapour permeability, noise reduction capabilities and ecological reasons make this environmentally friendly insulation very attractive.

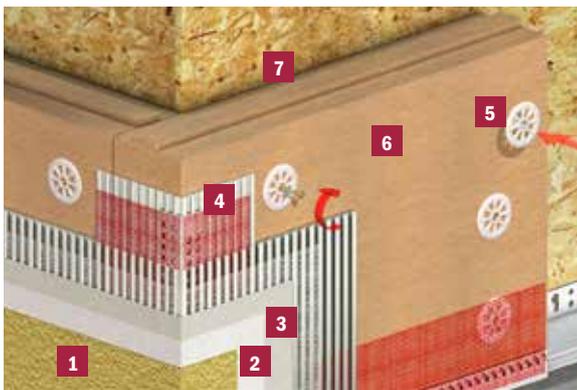
### **Breathable insulation**

The Baunit StarSystem Nature has good thermal insulation values, is water vapour permeable and is environmentally friendly due to wood being a renewable resource. The components not only have a high heat storage capacity, they are also breathable.

### **Good environmental footprint**

This natural insulation stands out over the entire life cycle, from production to disposal, due to its low environmental impact, making it an environmentally friendly alternative.





## BENEFITS

- Sustainable and environmentally friendly
- Improves sound insulation
- Good thermal values
- Vapour permeable



## SYSTEM COMPONENTS

1

**Baimit StarTop**  
Easy to apply topcoat render



2

**Baimit PremiumPrimer**  
Superior quality primer



3

**Baimit StarContact**  
Vapour permeable adhesive and basecoat reinforcing mortar



4

**Baimit StarTex**  
High performance reinforcing mesh



5

**Baimit STR U 2G\***  
Screwed anchor fixing  
*\*Depending on substrate*



6

**StarTherm Nature**  
Wood fibre façade insulation board



7

**Baimit StarContact**  
Vapour permeable adhesive and basecoat reinforcing mortar





Baumit PowerSystem

# Best impact resistance

- **High impact resistance**
- **For extreme environments**
- **Cement-free basecoat**

Severe weather fluctuations appear to have increased dramatically in recent years and thermal insulation is not the only thing that needs to be considered in construction. Issues such as impact protection and weather resistance have also become a key factor to consider.

## **Tough and flexible**

Baumit PowerSystem works by being tough and flexible at the same time. The toughness and elasticity of the system are perfectly balanced, which is beneficial for the façade.

## **Strong façades**

There are a number of possibilities for protecting a façade – ranging from simple structural measures to high-tech building materials.

Effective façade protection is achieved with a highly flexible, strong shield, in which a fibreglass mesh is embedded. A high-quality Baumit façade render is then applied over the top. As well as having an attractive appearance, it also protects the layers underneath from moisture.



## **Ultimate solution for all around protection**

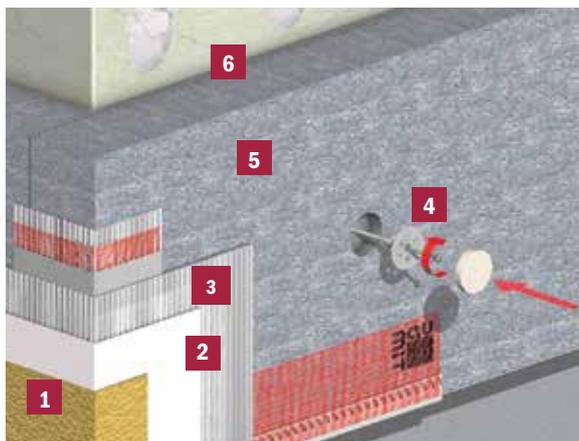
Designed to operate at the extremes of performance Power System offers our highest levels of crack resistance and weather protection, essential for good levels of health and thermal comfort.

## **Innovative protection**

The heart of this system is reinforcement using Baumit PowerFlex. This cement-free, ready mixed reinforcing mortar is a powerful innovation from the Baumit Research Centre.

Particularly high-quality binders combined with very elastic fibres and precisely dosed fillers make Baumit PowerSystem the best impact protection for thermal insulation.

Baumit PowerSystem is ideal for use with Baumit StarTherm insulation whenever more resilience is required.



### BENEFITS

- Highly effective impact protection
- Weather protection all year round
- Thermal insulation and resilience in one
- For high mechanical stresses



### SYSTEM COMPONENTS

1

**Baimit StarTop**  
Easy to apply topcoat render



2

**Baimit PowerFlex**  
Reinforcing coat



3

**Baimit StarTex**  
High performance reinforcing mesh



4

**Baimit STR U 2G\***  
Screwed anchor fixing  
*\*Depending on substrate*



5

**Baimit StarTherm EPS**  
Grey EPS façade insulation board



6

**Baimit StarContact white**  
Vapour permeable adhesive and basecoat reinforcing mortar





## Baumit PlinthSystem

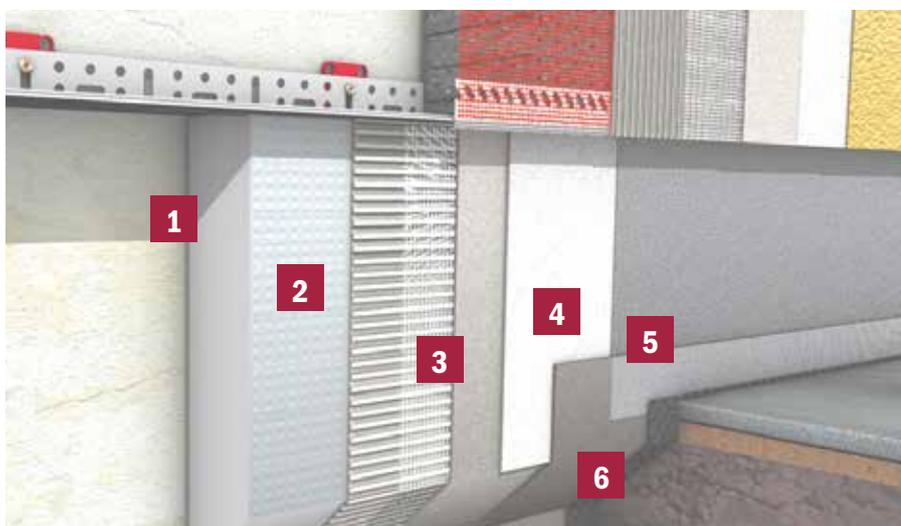
# Reinforcing plinth solution

- **Reliable protection**
- **Water-repellent and resistant to mechanical stresses**
- **Ideal for renovation**

The plinth and perimeter area is one of the most highly stressed areas of a building. It has to contend with rainfall, splashing and high levels of mechanical stress.

The render should always be waterproofed on the plinth area, waterproofing provides additional protection for particularly vulnerable areas.

The detailed image of the base below shows the recommended build up. It is always necessary to apply a reinforcing coat.



### SYSTEM COMPONENTS

**1** **Baumit BituFix 2K or StarContact White**  
Depending on substrate



**2** **Baumit PlinthTherm**  
High density XPS board.



**3** **Baumit StarContact White**  
Vapour permeable adhesive and basecoat reinforcing mortar



**4** **Baumit Premium Primer**  
Superior quality primer.



**5** **Baumit MosaikTop**  
Ready-to-use, acrylic based render for external use



**6** **Baumit DS 26 Flex**  
Flexible and universal for use as a sealing layer





## Baumit Components

# StarTrack and Fixings

- Saves energy, time and costs
- One size fits all
- Accuracy in application

EWI systems with EPS insulation boards must be fixed onto various surfaces using supplementary fixings along with an adhesive bond. The Baumit StarTrack range has a solution for every substrate. Baumit StarTrack fixings are anchored in the supporting masonry and are covered with a dab of adhesive before gluing the insulation boards.

This creates the required supplementary fixing point to the supporting masonry without piercing the insulation, thereby ensuring there are thermal bridges.



The Baumit adhesive anchors are inserted into the borehole and secured with plastic nails.



The Baumit adhesive anchors are offset in height, maximum 40 x 40 cm.

### ADDITIONAL EWI SYSTEM FIXINGS

- H3 Hammer fixing, a universal hammer-in anchor with plastic expansion pin.
- STR U 2G, a recessed or surface fixed screw-set anchor.



### BAUMIT STARTRACK & DOWELS OVERVIEW

Baumit StarTrack Fixing	Anchor depth in mm	A	B	C	D	E
		Standard Concrete	Standard Masonry	Hollow and perforated masonry	Lightweight Concrete	Aerated Concrete
Baumit StarTrack Orange	≥ 40 <sup>1)</sup>	●	●	●		●
Baumit StarTrack Red	≥ 40	●	●	●		
Baumit StarTrack Blue	≥ 40	●	●			
Baumit StarTrack Duplex	≥ 40 <sup>1)</sup>	●	●	●		●
Baumit S (STR)	≥ 25 (≥ 60)	●	●	●	●	●
Baumit N (NTK)	≥ 40	●	●	●		

1) Anchorage depth in aerated concrete: 60mm



## Baumit Components

# Accessories

- For a range of areas
- Perfectly coordinated accessories
- All-round protection for the building

External wall insulation systems come into contact with a variety of other components and materials: windows made of wood,

plastic or aluminium, balustrade that need to be fixed in the substrate. All of these connections must be protected against different stresses and strains – for example, driving rain or movement.

### Well designed and well insulated

In order to be prepared for all the details during installation, the work should be planned as accurately as possible before it

starts. It should be ascertained in advance which areas of the building require special profiles to provide optimal protection against external influences and thermal bridges. Thermal bridges can be avoided if the joints at critical points are carried out using the right products. Secure connections ensure optimum insulation and protection from the elements.

## USING THE SYSTEM

- 1 Baumit Base Profile Therm
- 2 Baumit Window Profile Flexible
- 3 Baumit Window Profile ideal
- 4 Baumit Corner Bead
- 5 Baumit Expansion Joint Profile
- 6 Baumit Montage





## DETAILED SOLUTIONS

### 1 Baumit Base Profile Therm

#### The base – the foundation of the EWI system.

Baumit Base Profile Therm provides a thermal bridge-free solution for all base types and insulating materials, either as the lower end of the façade or to form a recessed base. The Baumit thermal base insertion profile is used as a supplement for all insulation regardless of the depth.

### 2 Baumit Window Profile Flexible

#### The window – doesn't give rain a chance.

The Baumit Window Profile Flexible, can absorb large movements in all directions. The decoupled construction is suitable for all insulation materials and thicknesses as well as most window constructions.

### 3 Baumit Window Profile Ideal

#### The window frame – reliability in planning and execution.

A key connection detail of EWI to other structural components in the window area is the window frame. This can be a particularly challenging area but an innovative solution has been created with the Baumit Window Profile Ideal.

### 4 Baumit Corner Bead

#### The edge – for precise angles.

The Baumit Corner Bead is suitable for external 90 degree angles. Soffits and window lintels can be finished exactly with the Baumit Drip Edge Profile which stops dirty streaks forming at the edge, as the water falls from the front edge of the bead.

### 5 Baumit Expansion Joint Profile

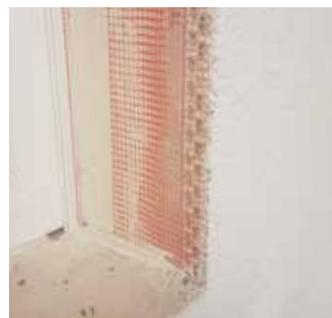
#### Joints - mobility is key.

The Baumit Expansion Joint Profile is used in alterations, extensions or between structural components with different constructions, when the joints run vertically. Cracks are now a thing of the past.

### 6 Baumit Montage

#### Mounting elements – intelligent installation.

The Baumit Montage Meter mounting element is used for attaching fixtures, such as letter boxes or lamps. During installation of EWI, it is fixed prior to applying the reinforced basecoat. After completion, the screws in the Baumit Montage Meter can be tightened. The load is carried via the EWI, with no thermal bridges.



OVERVIEW

# Baumit Tops & Colours



## Baumit NanoporTop & NanoporColor



- Perfect application
- Mineral and breathable
- Long lasting cleanliness

## Baumit StarTop & StarColor



- Especially strong & durable
- The best moisture protection
- Better workability

## Baumit PuraTop & PuraColor



- Brilliant colours
- Extremely durable
- For decorative surface design

self-cleaning	■	■	■	■	■
resistance	■	■	■	■	■
diffusion	■	■	■	■	■
colour variations	■	■	■		
suitable for base area	■	■	■		
variety of textures	■	■	■	■	

self-cleaning	■	■	■	■	■
resistance	■	■	■	■	■
diffusion	■	■	■	■	■
colour variations	■	■	■	■	
suitable for base area	■	■	■	■	
variety of textures	■	■	■		

self-cleaning	■	■	■		
resistance	■	■	■	■	
diffusion	■	■	■		
colour variations	■	■	■	■	■
suitable for base area	■	■	■	■	
variety of textures	■	■	■		

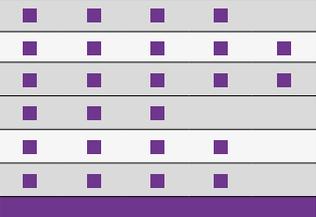
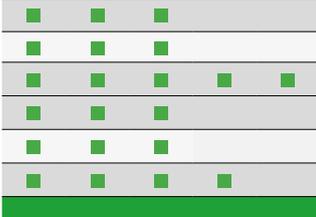
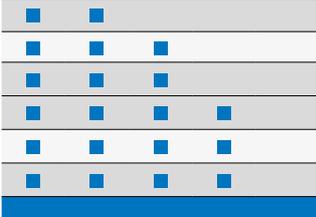
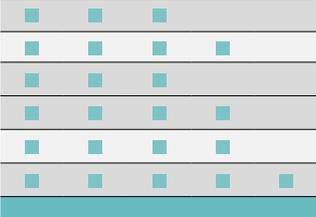
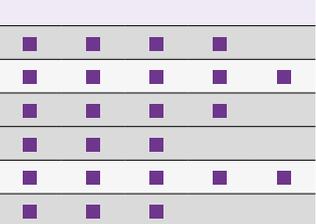
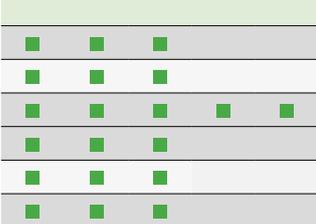
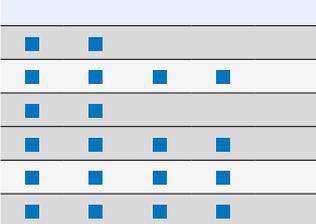
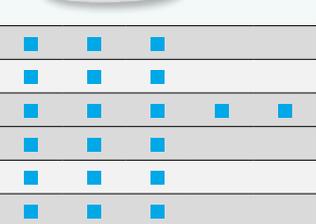


self-cleaning	■	■	■	■	■
resistance	■	■	■	■	■
diffusion	■	■	■	■	■
colour variations	■	■	■		
suitable for base area	■	■	■		
colour intensity	■	■	■		

self-cleaning	■	■	■	■	■
resistance	■	■	■	■	■
diffusion	■	■	■	■	■
colour variations	■	■	■	■	
suitable for base area	■	■	■	■	■
colour intensity	■	■	■	■	

self-cleaning	■	■	■		
resistance	■	■	■	■	■
diffusion	■	■	■		
colour variations	■	■	■	■	■
suitable for base area	■	■	■	■	■
colour intensity	■	■	■	■	■

Baumit final coatings form a protective shield against weathering of any kind. They not only ensure the visual appearance of a façade, but also the durability of the underlying thermal insulation and structure.

Baumit SilikonTop & SilikonColor	Baumit SilikatTop & SilikatColor	Baumit GranoporTop & GranoporColor	Baumit CreativTop & Lasur, Glitter, Metallic
			
			
<ul style="list-style-type: none"> <li>■ High coverage</li> <li>■ Premium protection</li> <li>■ Highly moisture &amp; weather resistant</li> </ul>	<ul style="list-style-type: none"> <li>■ Breathable</li> <li>■ Specialised for renovation</li> <li>■ Proven façade colour</li> </ul>	<ul style="list-style-type: none"> <li>■ Weatherproof</li> <li>■ Very good water repellency</li> <li>■ Easy application</li> </ul>	<ul style="list-style-type: none"> <li>■ Endless design possibilities</li> <li>■ Individual textures</li> <li>■ Creative, colourful and unique</li> </ul>
			
			
			



**Life**  
COLORED BY BAUMIT

baumitlife.com

# As colourful as your life

- **888 different possibilities**
- **Intense and beautiful**
- **Endless design variations**



Baumit Life offers an amazing range of 888 creative façade colours. This colour system is as beautiful, wide-ranging and individual as life itself.

**888 colours with every feature you could wish for.** For a long time, the individuality of a house was limited to the interior design. But times are changing and nowadays it is different: It is the façade that provides the building with a unique character.

Baumit therefore developed Europe's widest and most beautiful range of colours - the Baumit Life system. With 888 different colour shades, it offers almost complete freedom when it comes to façade design.

Whether you prefer delicate pastel shades or intense dark colours – Baumit Life enables unlimited design possibilities. The heart of the Life system consists of 94 main tones, each with additional 8 colour gradations. The system is rounded off by 6 white tones and 36 Mosaik tops.

### **Baumit Life**

For inspiration and advice on choosing the best colour & product combination for your project visit [baumitlife.com](http://baumitlife.com)



## Behind the colour code

Each one of Baumit's unique façade colour shades has its own colour code. Consisting of 4 figures; the first 3 figures refer to the number of the colour row and the last number shows the brightness graduation (ranked from 1 to 9, where 1 stands for the most intense colour tone and 9 for the lightest one).

0014	0021	0031	0041	0051	0061	0071	0081	0121	0131	0141	0151	0161	0171
0015	0022	0032	0042	0052	0062	0072	0082	0122	0132	0142	0152	0162	0172
0016	0023	0033	0043	0053	0063	0073	0083	0123	0133	0143	0153	0163	0173
0017	0024	0034	0044	0054	0064	0074	0084	0124	0134	0144	0154	0164	0174
0018	0025	0035	0045	0055	0065	0075	0085	0125	0135	0145	0155	0165	0175
0019	0026	0036	0046	0056	0066	0076	0086	0126	0136	0146	0156	0166	0176
	0027	0037	0047	0057	0067	0077	0087	0127	0137	0147	0157	0167	0177
	0028	0038	0048	0058	0068	0078	0088	0128	0138	0148	0158	0168	0178
	0029	0039	0049	0059	0069	0079	0089	0129	0139	0149	0159	0169	0179
0181	0191	0201	0211	0221	0231	0241	0281	0291	0301	0311	0321	0331	0341
0182	0192	0202	0212	0222	0232	0242	0282	0292	0302	0312	0322	0332	0342
0183	0193	0203	0213	0223	0233	0243	0283	0293	0303	0313	0323	0333	0343
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0861	0871	0881	0891	0901	0911	0921	0931	0971	0981	0991	1001	1011	1021
0862	0872	0882	0892	0902	0912	0922	0932	0972	0982	0992	1002	1012	1022
0863	0873	0883	0893	0903	0913	0923	0933	0973	0983	0993	1003	1013	1023
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0865	0875	0885	0895	0905	0915	0925	0935	0975	0985	0995	1005	1015	1025
0866	0876	0886	0896	0906	0916	0926	0936	0976	0986	0996	1006	1016	1026
0867	0877	0887	0897	0907	0917	0927	0937	0977	0987	0997	1007	1017	1027
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0869	0879	0889	0899	0909	0919	0929	0939	0979	0989	0999	1009	1019	1029
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1039	1049	1059	1069	1079	1119	1129	1139	1149	1159	1169			

**Black:** Available in any product  
**Red:** Only available in PuraColor and PuraTop  
**Blue:** Only available in PuraTop, PuraColor, StarTop, StarColor, GranoporTop, GranoporColor and CreativTop Max, Trend, Fine



baumit.com



## Baumit Ltd

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Aylesford, Maidstone, Kent, ME20 6XJ

**Baumit. Your home. Your walls. Your health.**



# Comhairle Cathrach Chorcaí

## Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997



16/01/2026

RE: Section 5 Declaration: R1007/25. 53 Castle Avenue, Muskerry Estate, Ballincollig, Cork. P31 E938

A Chara,

With reference to your request for a Section 5 Declaration at the above-named property, received on the 8<sup>th</sup> of December 2025.

The Question before the Planning Authority is whether external wall insulation is development, or is it exempted development?

The Planning Authority requires further information in order to determine if the proposed external insulation is or is not exempted development.

1. Please clarify whether the external insulation is to be applied to all parts of the external walls – front side and rear.
2. Please clarify the finish of the proposed insulation i.e. smooth render/rough dash or pebble dash including colours of same – i.e. will it match the existing first floor finish?
3. Please submit details on the proposed depth of the external insulation.

It is thus considered that **FURTHER INFORMATION** is required.

Is mise le meas,

*Anthony Angelini*

**Anthony Angelini**  
**Assistant Staff Officer**  
**Planning & Integrated Development**  
**Cork City Council**



**We are Cork.**

## Section 5 Declaration – Planner’s Report

File Reference:	R1007-25
Description:	Whether the installation of external insulation on the brick feature is or is not development and is or is not exempted development.
Applicant:	Helen Creedon
Location:	53 Castle Avenue, Muskerry Estate, Ballincollig. P31 E938
Site inspection:	19/12/2025

### Purpose of Report

Under Section 5 of the Planning and Development Act, 2000 (as amended), if any question arises as to what, in any particular case, is or is not development and is or is not exempted development within the meaning of the Act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question, and that person shall provide to the planning authority any information necessary to enable the authority to make its decision on the matter.

### Site Description

The site was inspected on the 19/12/2025.

The site is located in Castle Avenue, an established residential estate in Ballincollig. Access to the estate is from Castle Road to the west and becomes a cul de sac to the east.

The property is a semi-detached dwelling with an attached garage to the west/side. The dwelling faces north and faces a green area that forms a central circle of the estate of castle Avenue.

The front façade is finished in a pale pebble dash, to the first floor, and brown and grey stone cladding to the ground floor. The windows are a white frame. The front elevation on the adjoining neighbours, number 55 and 51, are also finished in the same material and colouring.

It is considered that the houses on the row of immediate dwellings are of similar design and finishes, but there are features that are varying in the wider estate on the front elevation as per the images provided by the applicant.

There are no built heritage designations applicable to the house or immediate area and the site falls within Zoning Objective 01 - Sustainable Residential Neighbourhoods, and within Landscape Character Type – Broad Fertile Lowland Valleys by means of the Cork City Development Plan 2022-2028.

### Planning History

Application site:

No recent planning history on site.

Nearby sites:

088625 – 55 Castle Avenue

Retention of conversion of attic to living area and installation of rooflights to dwellinghouse.  
Grant conditional

135675 – 61 Castle Avenue

Retention of single storey extension to side of existing two-storey dwelling together with alterations to existing dwelling and associated site works.  
Grant conditional

052875 – 45 Castle Avenue  
Extension to dwellinghouse.  
Grant conditional

### **Legislative provisions**

#### **The Planning and Development Act**

##### Section 2(1),

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

##### Section 3(1),

*In this Act, except where the context otherwise requires, "development" means—*

- (a) the carrying out of any works in, on, over or under land, or the making of any material change in the use of any land or structures situated on land, or*
- (b) development within the meaning of Part XXI (inserted by section 171 of the Maritime Area Planning Act 2021).*

##### Section 4(1)(h),

The following shall be exempted developments for the purposes of this Act-development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

##### Section 4(2)

Section 4(2) provides that the Minister may, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations 2001-2013.

##### Section 5(1),

(See Section 1 of this report above)

##### Section 177U (9) (screening for appropriate assessment)

In deciding upon a declaration or a referral under section 5 of this Act a planning authority or the Board, as the case may be, shall where appropriate, conduct a screening for appropriate assessment in accordance with the provisions of this section.

#### **The Planning and Development Regulations**

##### Article 6(1)

Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

##### Article 9(1)

Development to which article 6 relates shall not be exempted development for the purposes of the Act—

(a) if the carrying out of such development would—

(i) contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act,

...

(viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,

### **Assessment**

The purpose of this report is to assess whether or not the matter in question constitutes development and whether it falls within the scope of exempted development.

Matters pertaining to the acceptability of the proposal in respect of the proper planning and sustainable development of the area is not a consideration under Section 5.

### **Development**

The first issue for consideration is whether or not the matter at hand is 'development'?

'Development' as defined in the Act (3)(1) comprises two possible chief components: 'the carrying out of any works on, in, over or under land', or 'the making of any material change in the use of any structures or other land'. In order to ascertain whether or not the subject use is considered to be development as so defined, consideration must first be given to whether any works on, in, over or under land have or will be carried out, and secondly to whether any material change in the use of any structures or other land have or will take place.

'Works' is defined in section 2(1) of the Act as 'the carrying out of any works on, in, over, or under land' including 'any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal, and in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.'

The addition of external insulation on the front wall of the house falls within the definition of 'works'. Therefore, the proposal constitutes development within the meaning of the Act.

**Conclusion:** The works are considered development.

### **Exempted Development**

The next issue for consideration is whether or not the matter at hand is Exempted Development.

The proposed works are not listed within Schedule 2 Part 1 of the Planning and Development regulations 2001 (as amended) which lists Exempted Development. Article 6 therefore does not provide for this type of development.

Section 4(1)(h) of the Act provides that development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.

External insulation is considered to come under maintenance, and its acknowledged it will be an improvement to the energy efficiency of the house. The addition of external insulation to this dwelling will alter the external appearance of the house, however. The test is whether it would materially affect the external appearance of the building so as to render the appearance consistent with the character of the dwelling or of neighbouring or surrounding dwellings.

In terms of whether the works would render the appearance inconsistent with the character of the dwelling, I would refer to case law (*Cairnduff v. O'Connell*, 1986), in which the matter of the character of the structure was discussed. The key elements of character to which the Supreme Court had regard included shape, colour, design, ornamental features and layout.

In terms of the character of the house and the neighbouring houses, the application site is a semi-detached dwelling with a single storey attached garage to the west side in an established residential area. The house is part of a row of houses some of which are facing an open communal green area. The external finish of the front elevation of the property is a brown but, mostly grey stone cladding on the lower front elevation, with a pale pebble dash at first floor level.

It is considered that all the houses on the street would have had the same finishes and a strong sense of uniformity and consistency upon construction. Currently, the adjoining dwellings have this stone clad finish and pebble dash upper level, however there are a number of properties in the wider estate that have changed their front elevation material to pebble dash or painted render for the full front elevation. There is no record of a Section 5 application for these.

The application is lacking in detail on the external finish and the depth of the external insulation. Further information will be required in order to determine if the finish will render the appearance inconsistent with the character of the structure or of neighbouring structures.

**Conclusion:** There is insufficient information in the application to determine if the works is or is not exempted development.

### **Environmental Assessment**

#### **Screening for Environmental Impact Assessment**

Having regard to the contents of Article 103 (as amended by Article 14 of the Planning and Development (Amendment) (No 3) Regulations 2011) and Schedule 7 of the Planning and Development Regulations 2001 (as amended) it is considered that the proposed development by reason of its nature, scale and location would not be likely to have significant effects on the environment. Accordingly, it is considered that an Environmental Impact Statement is not required to be submitted.

#### **Screening for Appropriate Assessment**

Section 177U (9) of the Act requires planning authorities to screen applications for a section 5 declaration for appropriate assessment. The provisions of the Habitats Directive, the Appropriate Assessment Guidelines for Planning Authorities 2009 (revised 2010) and the Act are noted. The relevant European sites are the Cork Harbour SPA (site code 004030) and the Great Island Channel cSAC (site code 001058). Having regard to the location of the proposed development site relative to these European sites and related watercourses and to the nature and scale of the proposed development it is considered that the proposed development would not affect the integrity of the European sites referred to above. Accordingly, it is considered that an Appropriate Assessment is not required.

### **Recommendation**

It is recommended that Further Information be sought to establish the exact areas of application, the exact finish of the insulation – i.e. whether the insulation will be smooth plaster or pebble dash finish, and the depth of same.

### **REQUEST FOR FURTHER INFORMATION**

The Planning Authority requires further information in order to determine if the proposed external insulation is or is not exempted development.

1. Please clarify whether the external insulation is to be applied to all parts of the external walls – front side and rear.
2. Please clarify the finish of the proposed insulation i.e. smooth render/rough dash or pebble dash including colours of same – i.e. will it match the existing first floor finish?

3. Please submit details on the proposed depth of the external insulation.

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Sarah Carroll  
Graduate Planner  
Cork City Council  
14.01.2026

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I concur with the above recommendation.

*Evelyn Mitchell*

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Evelyn Mitchell SEP



**[EXTERNAL EMAIL]** This email originated from outside Cork City Council. Do not follow guidance, click links or attachments unless you recognise the sender and know the content is safe.

Hi Anthony, Conor & Peter,

In response to the reply from Cork City about the planning permission.

- 1.External insulation on all walls front and rear. Not on side wall with neighbour on west side. No. 51 Castle Ave.
2. Finish, rough dash in sandy-cream colour to match as closely as possible existing finish.
3. External insulation depth, 100mm.

Please let me know if any further information is required.

Many Thanks,

Is mise le meas/Kind regards / Cordialement/ Mit freundlichem Gruß

Helen Creedon











Island Way

Castle Ave

21 21 23

ex. 20

26

29

31 30

Castle Ave

Hazel Grove

Castle Rd

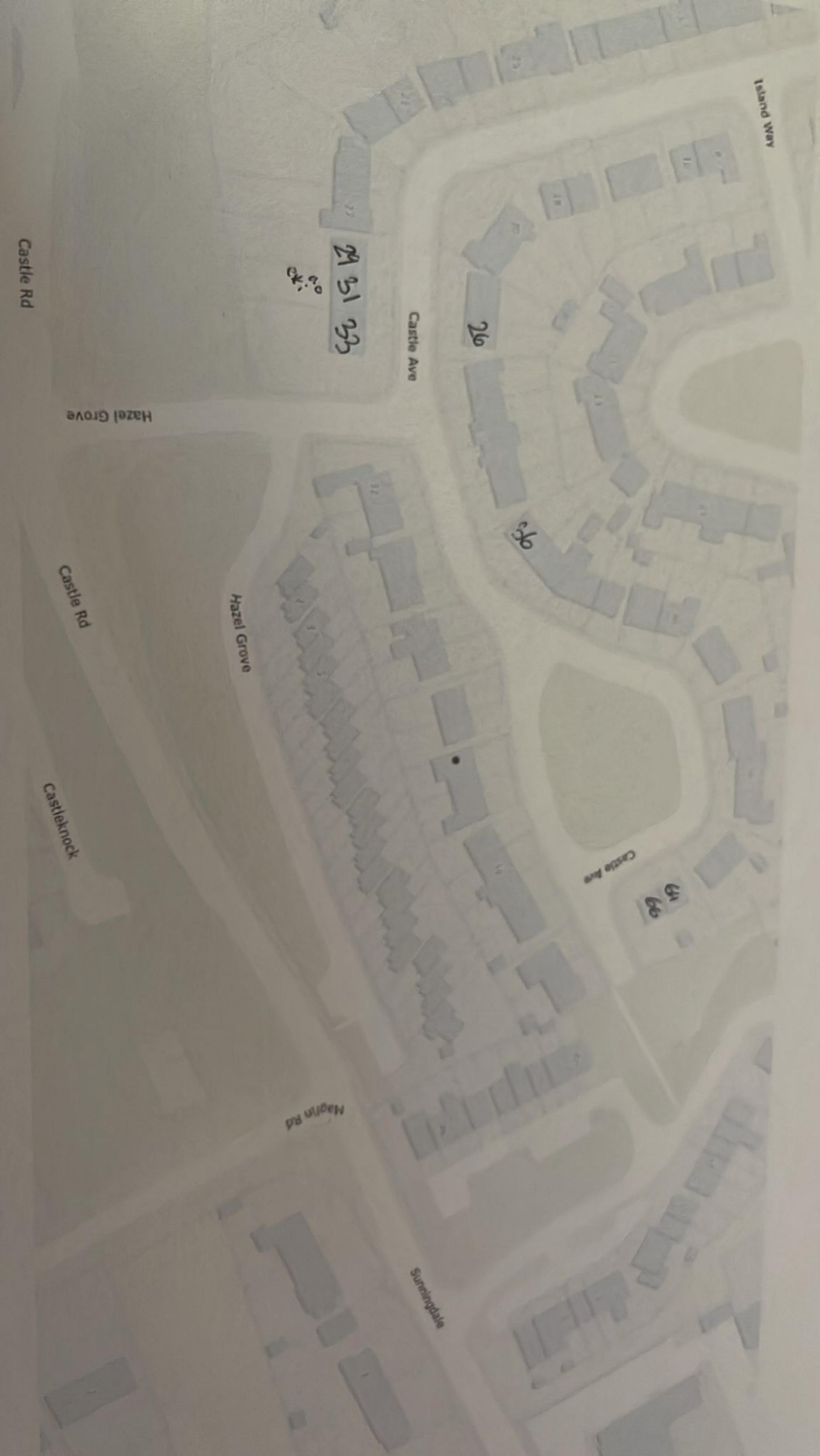
Castleknock

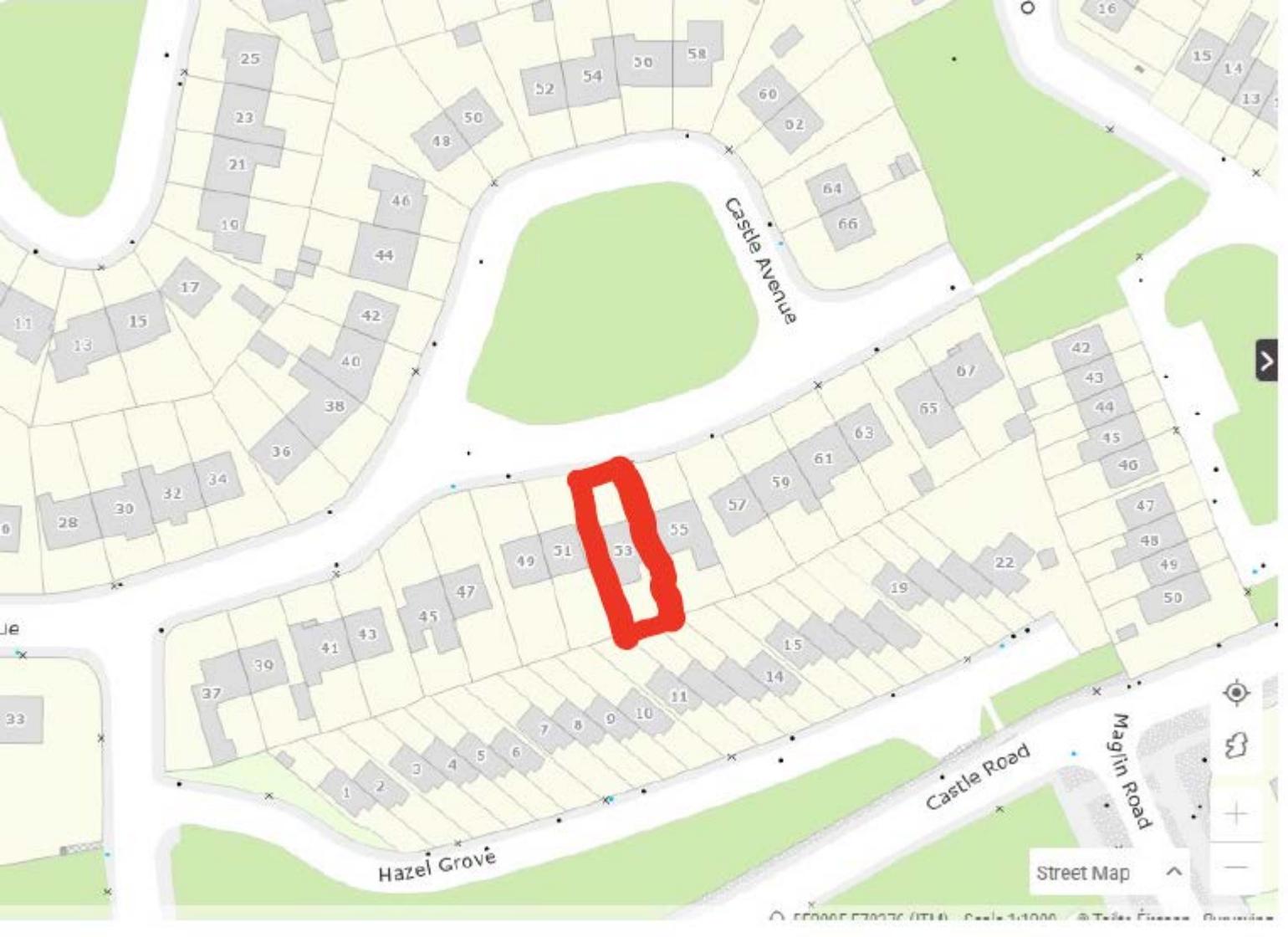
Maolin Rd

Sunningdale

Hazel Grove

Castle Rd





Castle Avenue

Castle Road

Maglin Road

Hazel Grove

Street Map