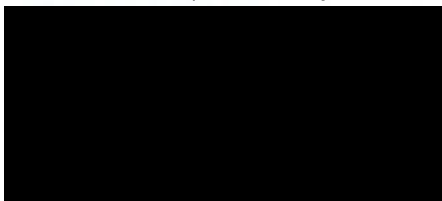


Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Three Ireland (Hutchison) Limited



21/11/2024

RE: Section 5 Declaration R883/24 3 Daunt Square, Cork

A Chara,

With reference to your request for a Section 5 Declaration at the above-named property, received on 11th October 2024, I wish to advise as follows:

The Planning Authority, in view of the above and having regard to —

- Sections 2, and 57 of the Planning and Development Act 2000 (as amended).

It is considered that the *the specific question for which a declaration is sought* IS **DEVELOPMENT** and **IS EXEMPTED DEVELOPMENT** at 3 Daunt Square, Cork.

Under Section 5(3)(a) of the Planning and Development Act, 2000, you may, on payment of the appropriate fee, refer this declaration for review by An Bord Pleanála within 4 weeks of the date it is issued, 21st November 2024.

Is mise le meas,



David Foley
Development Management Section
Community, Culture and Placemaking Directorate
Cork City Council



We are Cork.



Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Paul Kingston
Boulteen
Enniskeane
Co.Cork

28/11/2024

Re: R883/24-Section 5 Declaration

Property: 3 Daunt's Square, Cork City

Question/Declaration Details: Is repair works to the external shop front at 3 Daunt Square exempted development? Works consist of The 'like for like' replacement of decayed/damaged timber shop front.

Dear Sir,

Please see below response in relation to a Section 5 application which was submitted on a land/structure in which you are the legal owner:

With reference to your request for a Section 5 Declaration at the above named property, I wish to advise and having regard to:

- Sections 2, and 57 of the Planning and Development Act 2000 (as amended).

Therefore it is considered that the specific question for which a declaration is sought **IS DEVELOPMENT** and **IS EXEMPTED DEVELOPMENT**.

David Foley
Development Management Section
Community, Culture and Placemaking Directorate
Cork City Council



We are Cork.

PLANNER'S REPORT Ref. R883/24		Cork City Council Development Management Strategic Planning and Economic Development
Application type	Section 5 Declaration	
Description	<i>"Is repair works to the external shop front at 3 Dunt Square exempted development? Works consist of the like for like replacement of decayed/damaged timber shop front."</i>	
Location	"Three", 3 Daunt's Square	
Applicant	Rioghan Murphy, The Building Consultancy	
Date	21/11/2024	
Recommendation	<i>Is Development and Is Exempted Development</i>	

To be read in conjunction with previous report dated 05/11/2024 which requested the following further information:

1. The following Further Information was requested:

1. It appears that the submitted S57 report is missing relevant information required for assessment. You are therefore requested to submit a full Section 57 report. Applicant is advised to contact and liaise with Ashleigh Murray, the Conservation Officer, to ensure the necessary information is submitted.

2. Response from Applicant:

The applicant has liaised with the Conservation Officer and submitted clarification which was received by the Planning Authority on the 18/11/2024.

3. The Question before the Planning Authority

In framing the question to the planning authority, the applicant states in Q2 of the application form:

"Is repair works to the external shop front at 3 Dunt Square exempted development? Works consist of the like for like replacement of decayed/damaged timber shop front."

4. Previous Assessment

The proposal was previous deemed to constitute works. The proposal is for works consisting of the like for like replacement of decayed/damaged timber shop front." This will involve works to the external façade of a protected structure. The works are therefore considered development.

Section 4(1)(h),

The following shall be exempted developments for the purposes of this Act-development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

The proposal is for a like for like replacement to repair shopfront. It is considered that this may come under Section 4(1)(h) subject to the limitations as the building is a protected structure.

Section 57 of the Planning and Development Act 2000 (as amended) states that the carrying out of works to a protected structure, shall be exempted development **only** if those works would not materially affect the character of (a) the structure, or (b) any element of the structure which contributes to its special architectural, historical, archaeological, artistic, cultural, scientific, social or technical interest.

5. ASSESSMENT

The applicant has liaised with the Conservation Officer and submitted clarification which was received by the Planning Authority on the 18/11/2024. The Conservation Officer has assessed same and comments:

“The applicant has made clear through the FI submitted information that the conservation, repair and structural works outlined in the Section 57 report had been undertaken in 2019, and that the purpose of submitting this report was to highlight the fact that the shopfront is modern, As such, repairs and like-for-like replacement of elements of the shopfront are considered acceptable as the fabric is modern and the character would be maintained. “

Based on same, it is considered that the works can come under Section 4 (1)(h)

6. Conclusion

The question has been asked whether

“Is repair works to the external shop front at 3 Dunt Square exempted development? Works consist of the like for like replacement of decayed/damaged timber shop front.”

Having considered the particulars submitted with the application and the relevant legislation as set out above, it is considered that the proposed repair works to the shopfront are development and are exempted development.

7. RECOMMENDATION

In view of the above and having regard to —

- Sections 2, and 57 of the Planning and Development Act 2000 (as amended),

It is considered that proposed like for like replacement of decayed/damaged timber shop front is **Development** and is **Exempted Development**.



Mary Doyle
Executive Planner

COMHAIRLE CATHRACH CHORCAÍ
CORK CITY COUNCIL

Community, Culture & Placemaking Directorate,
Cork City Council, City Hall, Anglesea Street, Cork.

R-Phost/E-Mail planning@corkcity.ie

Fón/Tel: 021-4924029

Líonra/Web: www.corkcity.ie

SECTION 5 DECLARATION APPLICATION FORM
under Section 5 of the Planning & Development Acts 2000 (as amended)

1. NAME OF PERSON MAKING THE REQUEST

The Building Consultancy (Riaghán Murphy)

2. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT

3 Dount Square, Cork

3. QUESTION/ DECLARATION DETAILS

PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:

Sample Question: *Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?*

Note: only works listed and described under this section will be assessed under the section 5 declaration.

Is repair works to the external shop front at 3 Dount Square exempted development?

Works consist of,

- The 'like for like' replacement of decayed/damaged timber shop front.

ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:

(Use additional sheets if required).

- The 'like for like' replacement of perished mastic window seals.

- Repair works to deflected stainless steel plinth.

- General maintenance and redecoration works.

Note: All works to be carried out are to Ground Floor level.

4. Are you aware of any enforcement proceedings connected to this site?

If so please supply details:

N/A

5. Is this a Protected Structure or within the curtilage of a Protected Structure? ☒

If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority? ☒

6. Was there previous relevant planning application/s on this site? ☒

If so please supply details:

Ref: 240157, Permission for replacement of existing shop front fascia and signage.

7. APPLICATION DETAILS

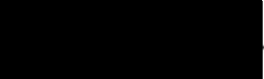
Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s	N/A
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 st October, 1964, (including those for which planning permission has been obtained)?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> If yes, please provide floor areas. (sq m)
(c) If concerning a change of use of land and / or building(s), please state the following:	
Existing/ previous use (please circle) N/A	Proposed/existing use (please circle) N/A

7. LEGAL INTEREST

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner	B. Other <input checked="" type="checkbox"/>
Where legal interest is 'Other', please state your interest in the land/structure in question	Three Ireland are leaseholders with a till repairing insuring lease on the property	
If you are not the legal owner, please state the name of the owner if available		

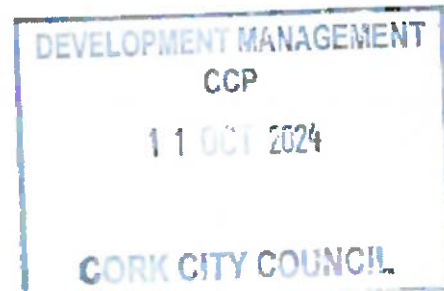
8. I / We confirm that the information contained in the application is true and accurate:

Signature: 

Date: 9/10/24

25078/24
TBC/RM
8th October 2024

The Development Management Section,
Community, Culture & Placemaking Directorate,
Cork City Council,
City Hall,
Anglesea Street,
Cork.



Dear Sir / Madam,

SECTION 5 APPLICATION FOR REPAIR WORKS AT 3 DAUNT SQUARE, CORK TO THE EXISTING TIMBER SHOPFRONT AND WINDOW SURROUNDS AT GROUND FLOOR ONLY

On behalf of Three Ireland (Hutchison) Limited, we hereby apply for a Section 5 Application for repair works at 3 Daunt Square, Cork. The works are required to the following areas.

- The existing timber shopfront at Ground Floor only, have deteriorated and succumbed to rot which is in a state of disrepair. We will replace the damaged timber frame surrounds 'like for like' to match the existing.
- The existing mastic window seals and stainless steel plinth at Ground Floor only, have perished and shown signs of damage/deflection. We will replace the mastic window seals 'like for like' and repair and reinstate the existing stainless steel plinth.

In support of our application, we enclose the following documentation:

1. The completed Section 5 Application Form.
2. A drawing register, enclosing copies of the following:
 - Drawing No. P001 - Site Location Map
 - Drawing No. P002 - Site Layout Plan
 - Drawing No. P003 - Existing Elevations for identification purposes only in relation to the building location.
3. Justification Report including a Schedule of Photographs.
4. Previous Section 57 Report (Dated March 2019) – Relevant Sections include Section 2.1 Paragraph 2 & Section 2. Paragraph 3.

Please find proof of payment via EFT attached.

23 Frederick Street South, Dublin 2.
T. +353 1 634 1000
info@tbc.ie
www.thebuildingconsultancy.ie

REGISTERED COMPANY NAME: CNP (Chartered Surveyors Ireland) Ltd
REGISTERED IN IRELAND NO: 449498
REGISTERED ADDRESS: 23 Frederick Street South, Dublin 2
DIRECTORS: Alan Baldwin, Karl O'Donovan, Hugh Holt, Ken Mulligan, Michael Ferry





We trust that the above and enclosed are satisfactory, however should you have any queries or require any further information, please do not hesitate to contact me.

Yours sincerely,

2

Ríoghán Murphy
B.Sc. (Hons.) in Building Surveying

THE BUILDING CONSULTANCY

File No: 25078

Sheet Number: 1 of 1

Authorised By:	Date of Issue:									
Ríoghán Murphy	Day	08								
	Month	10								
	Year	24								

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Company	Number of Copies
Cork City Council	2

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									Purpose of issue:
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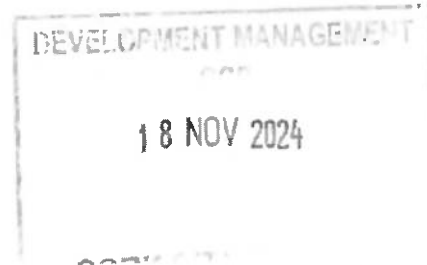
Note: Recipients are responsible for checking dimensions of all drawings which are in millimeters unless otherwise stated

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THE BUILDING CONSULTANCY

25078/24
TBC/RM
14th November 2024

The Development Management Section,
Community, Culture & Placemaking Directorate,
Cork City Council,
City Hall,
Anglesea Street,
Cork.



By Post & E-mail: ashleigh_murray@corkcity.ie

Dear Ashleigh,

RE: SECTION 5 DECLARATION R883/24 3 DAUNT SQUARE, CORK

Further to your request for further information letter dated Tuesday 5th November 2024 and conversation with my colleague Hugh Holt on Tuesday 12th November 2024. I am writing to you in relation to the Section 5 Application at the Three Store, Daunt Square, Cork.

The purpose of this letter is to clarify that this application applies to the urgent repair works to the defective modern timber shopfront only.

If I may can I provide some history on the property and previous works carried out,

1. My client carried out works to the property from August 2019 to November 2019.
2. The project involved the works outlined in the Section 57 Report prepared by Southgate & Associates.
3. Southgate & Associates obtained permission from the Local Authority to carry out the required works.
4. As outlined the project was completed between August 2019 and November 2019 and only involved works to the first, second and third floor levels internally and externally. No works were carried out to the ground floor level internally or externally as part of this project.
5. Southgate & Associates acted as the conservation consultants (Chris Southgate & Emma Buame) for the project.
6. The reason we included the previous Section 57 Report was to demonstrate to the Local Authority that the Conservation Consultants have already highlighted that the shop front is a modern shop front, and it was installed in 1998. See attached the pages in the report with the text highlighted, Previous Section 57 Report (Dated March 2019) – Relevant Sections include Section 2.1 Paragraph 2 & Section 2.2 Paragraph 3.

We would be grateful if you could review and revert with approval to proceed with the Ground Floor shop front repair works only.

23 Frederick Street South, Dublin 2.
T. +353 1 634 1000
info@tbc.ie
www.thebuildingconsultancy.ie

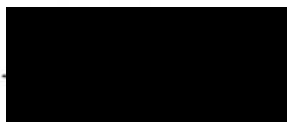
REGISTERED COMPANY NAME: CNP (Chartered Surveyors Ireland) Ltd.
REGISTERED IN IRELAND NO. 449498
REGISTERED ADDRESS: 23 Frederick Street South, Dublin 2.
DIRECTORS: Alan Baldwin, Karl O'Donovan, Hugh Holt, Ken Mulligan, Michael Ferry





We trust that the above and enclosed are satisfactory, however should you have any queries or require any further information, please do not hesitate to contact me.

Yours sincerely,



Ríoghán Murphy
B.Sc. (Hons.) in Building Surveying

JUSTIFICATION REPORT

3 Daunt Square, Cork.



Address:	3 Daunt Square, Cork
Date:	October 2024
Ref:	25078
Report Prepared by:	Ríoghán Murphy
Report Checked by:	Hugh Holt
Issuing Office:	The Building Consultancy, 23 Frederick Street South, Dublin 2.
For and on behalf of:	Three Ireland (Hutchison) Limited.

The Building Consultancy.

Signed:	The Building Consultancy
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CONTENTS

1.0	INTRODUCTION	1
2.0	PROPOSED WORKS	1
3.0	CONCLUSION	1
APPENDIX 1:	SCHEDULE OF PHOTOGRAPHS	3

1.0 INTRODUCTION

The subject property is located along Daunt Square which is to the north of Bishop Lucey Park and within a Conservation Area. Cork City Council have included 3 Daunt Square in the Record of Protected Structures (Ref. PS980). The property is a four-storey retail and office building with a combination of painted timber frame shopfront and double-glazed windows provided to the Ground floor elevations.

Section 2.1 Paragraph 2 of the supplementary Section 57 Report states that at Ground level, plate glass windows to the Southern and Western elevations were installed in 1998. Thus, no historical significance relates to the existing timber shopfront and glazing at Ground level.

2.0 PROPOSED WORKS

The proposed works consist of repairs to the existing timber shopfront and window surrounds at Ground Floor only.

Externally, the physical works will consist of:

- Timber decay and loose timber sections were noted in various locations along the shopfront columns 1-4 (as indicated on the supporting drawings). The 'like for like' replacement will be required to be carried out to both elevations to match the existing.
- The mastic joints to the window frames have perished at low level. The 'like for like' replacement will be required to be carried out to all windows at Ground Floor.
- Repair works will be required to be carried out to the deflected stainless steel plinth.
- General maintenance and redecoration works.

This work will not impact on historic fabric or result in the loss of historic features, fittings or fabric - thus the works would not have a negative impact on the character or significance of the protected structure.

3.0 CONCLUSION

Externally the proposed works are confined to repair and remedial works to ensure the existing building at Ground floor is maintained in good condition. The repairs as indicated above are to be carried out in accordance with best conservation practices.

Section 2.2, Paragraph 3 of the accompanying Section 57 Report indicates that 'there is no surviving building fabric to the Ground floor'. As such, the proposed remedial works will not affect the historical fabric of the property.

It is envisaged that the proposed works will have a positive impact on the property without affecting the character. It is our opinion that the proposed works will ensure the property is maintained in a good state of repair and prevent any further deterioration of various elements to the property. The works have been designed with full cognisance of the protected status of the building and are the minimum necessary to ensure reasonable compliance with prevailing regulations and best practice standards.

In conclusion, the proposed works to the property will not result in any significant material change to the character of the subject building and will not result in any damage or endangerment of the building's historic fabric, fittings and finishes.

APPENDIX 1: SCHEDULE OF PHOTOGRAPHS



Photograph 1 General view of Front Elevation.



Photograph 2 General view of Column 4.



Photograph 3 View of timber decay and flaking paint to Column 4.



Photograph 4 View of timber decay and chipped sections to Column 4.



Photograph 5 View of chipped section to Column 4.



Photograph 6 View of screwdriver puncturing through decayed timber.



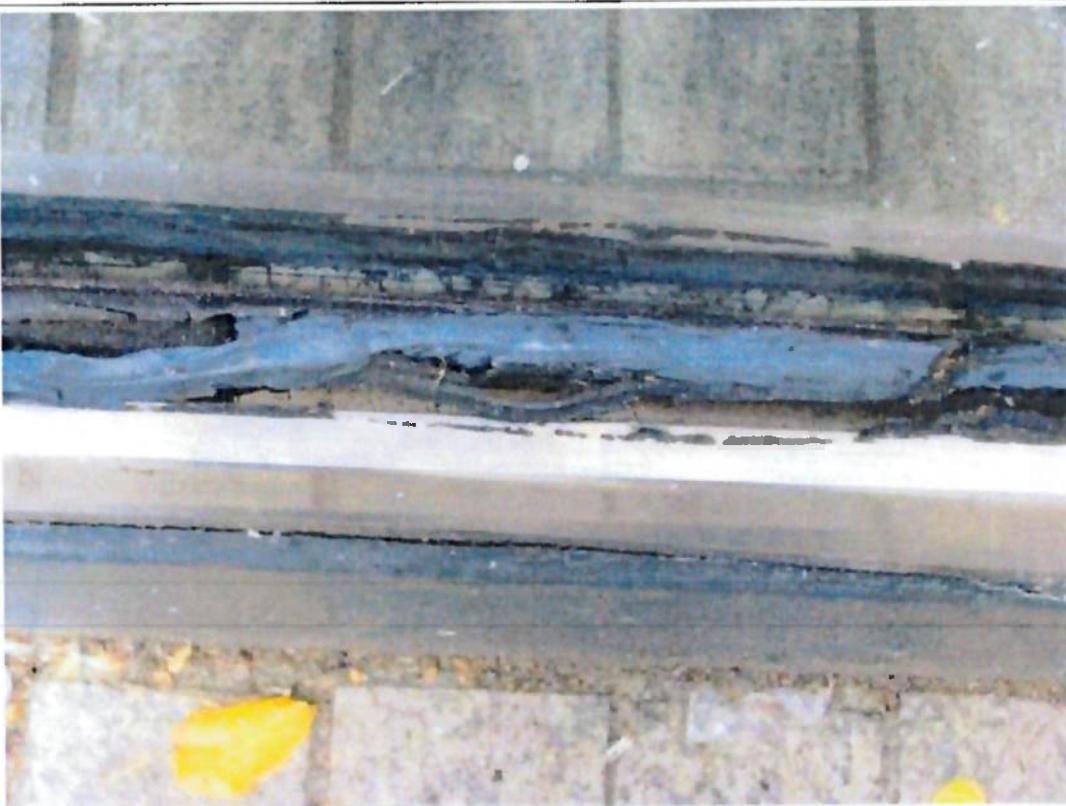
Photograph 7 View of chipped timber panel to Column 4.



Photograph 8 View of missing timber panel to Column 4.



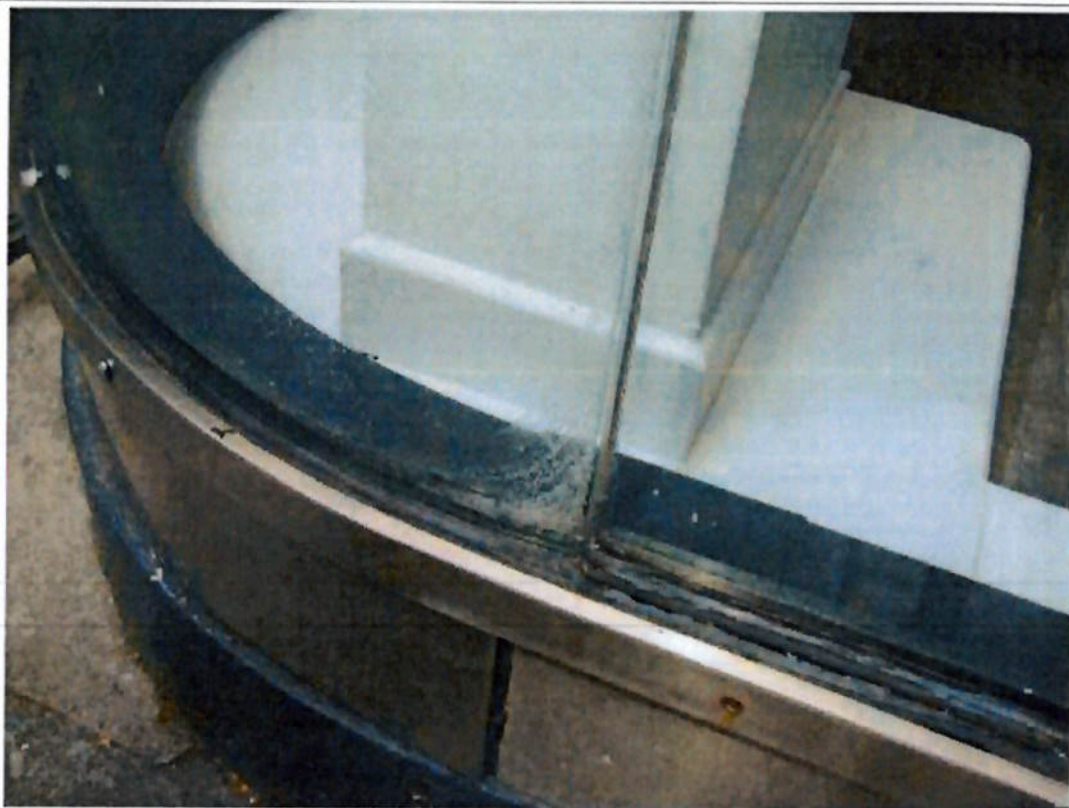
Photograph 9 View of perished mastic seal to the Front Elevation.



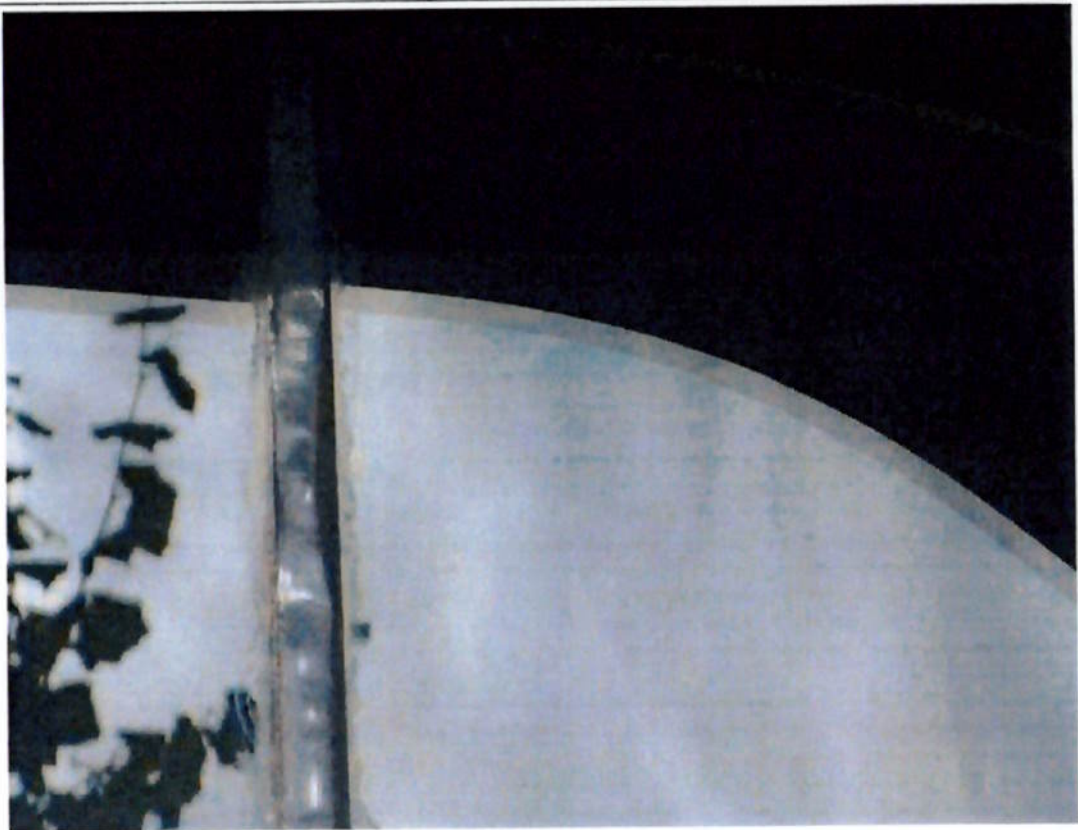
Photograph 10 View of perished mastic seal to the Front Elevation.



Photograph 11 View of screwdriver placed within a large gap to the mastic seal.



Photograph 12 View of moisture ingress at the perished seals.



Photograph 13 View of wear to the mastic seal.



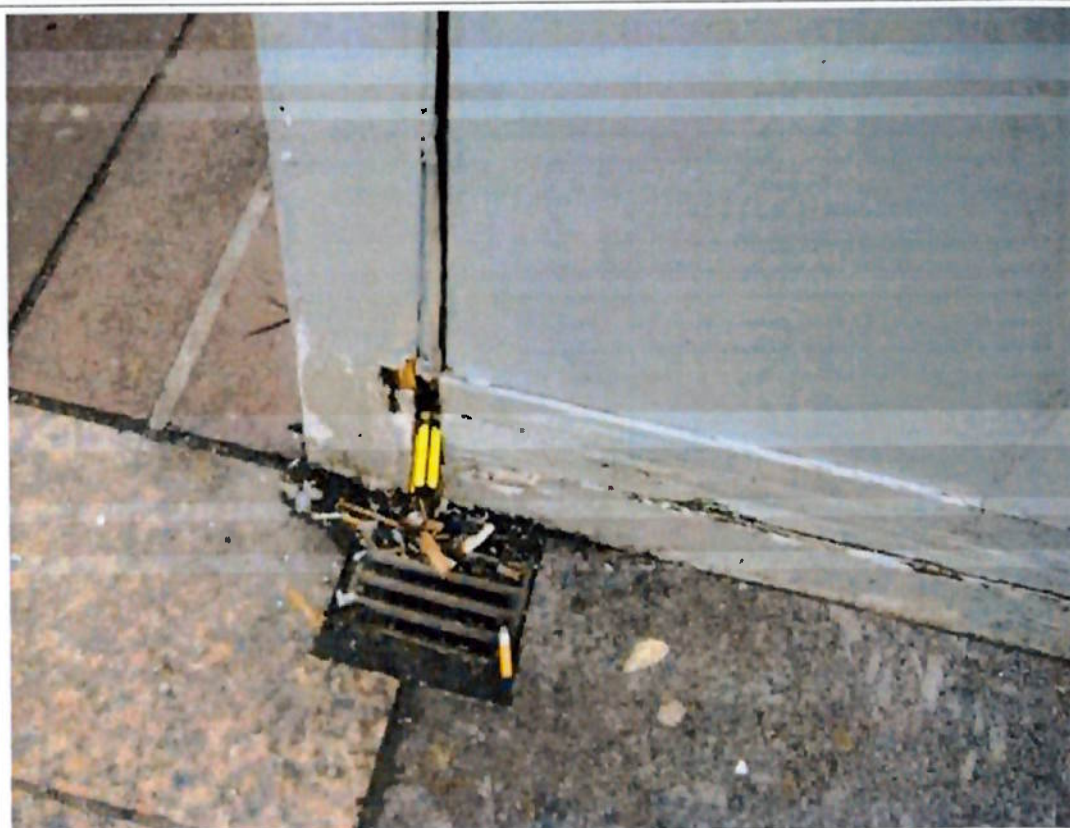
Photograph 14 View of deflected stainless steel plinth.



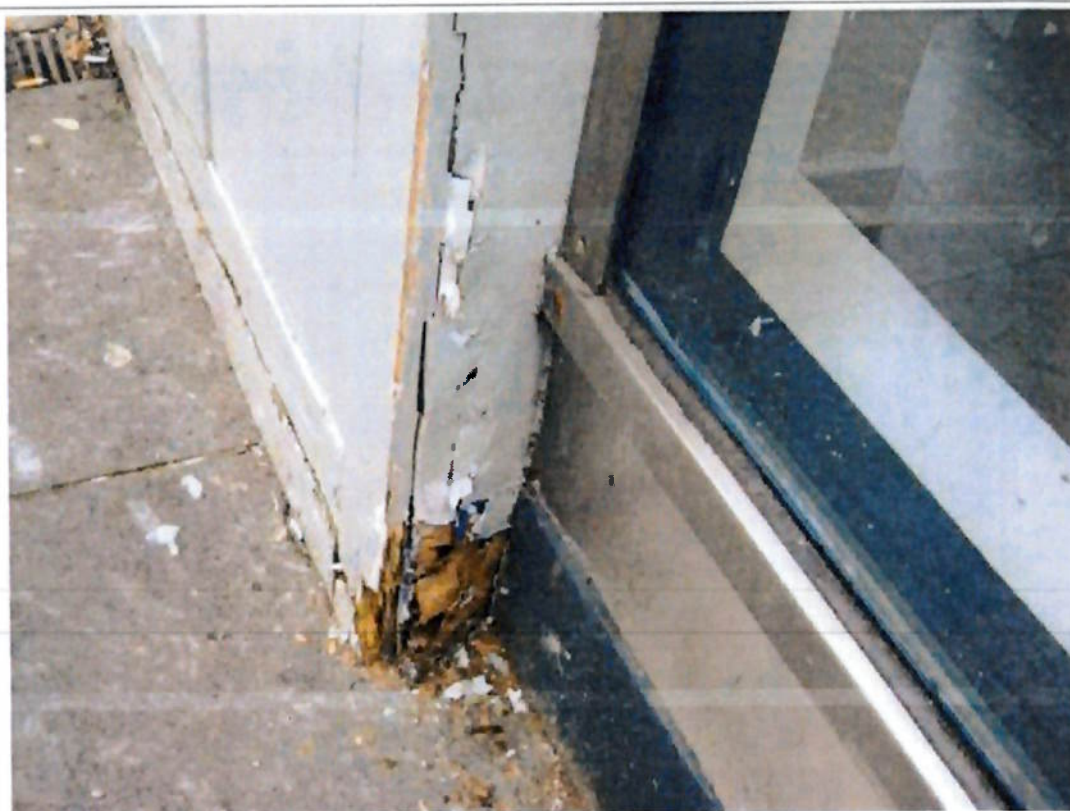
Photograph 15 **General view of Column 3.**



Photograph 16 **View of timber decay and chipped sections to Column 3.**



Photograph 17 View of screwdriver placed within a large gap to the timber panels.



Photograph 18 View of significant decay and chipped sections to Column 3.



Photograph 19 **General view of the Side Elevation.**



Photograph 20 **General view of Column 2.**



Photograph 21 View of blistering paint to Column 2.



Photograph 22 View of timber decay and chipped paint to Column 2.



Photograph 23 View of screwdriver placed within a gap to the timber panels.



Photograph 24 View of screwdriver puncturing through decayed timber.



Photograph 25 View of perished mastic seal to the Side Elevation.



Photograph 26 View of missing screws and gap to the stainless steel plinth.



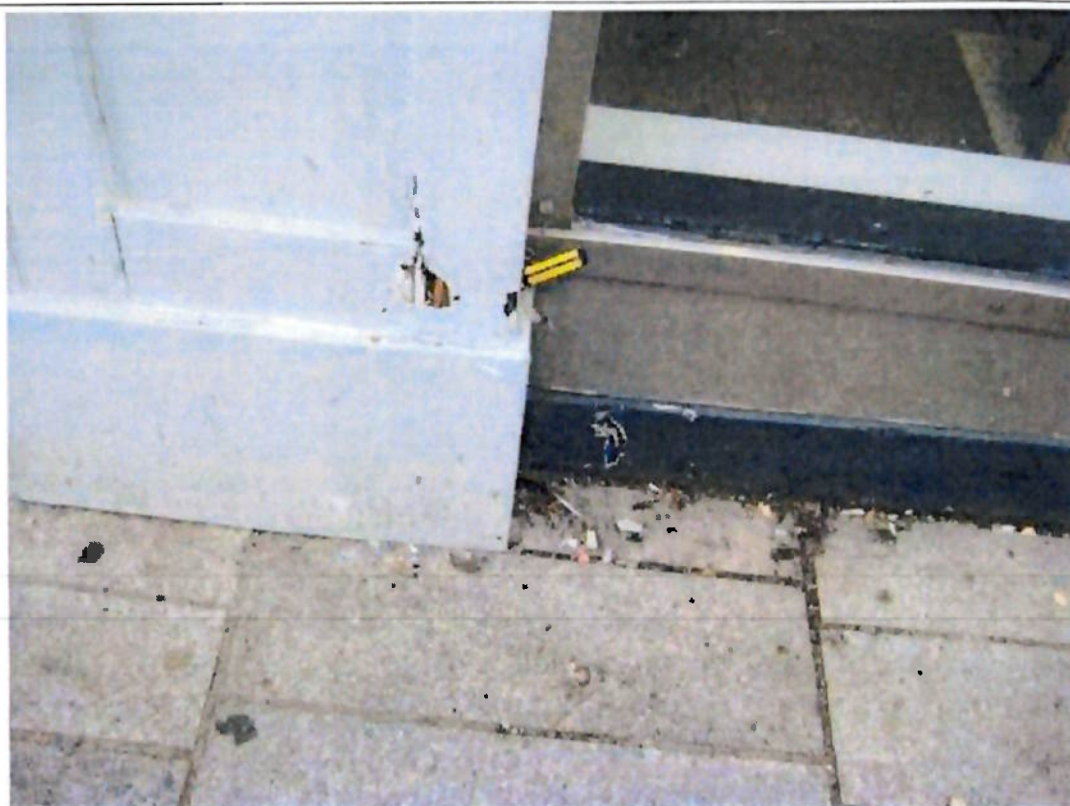
Photograph 27 **General view of Column 1.**



Photograph 28 **View of blistering paint to Column 1.**



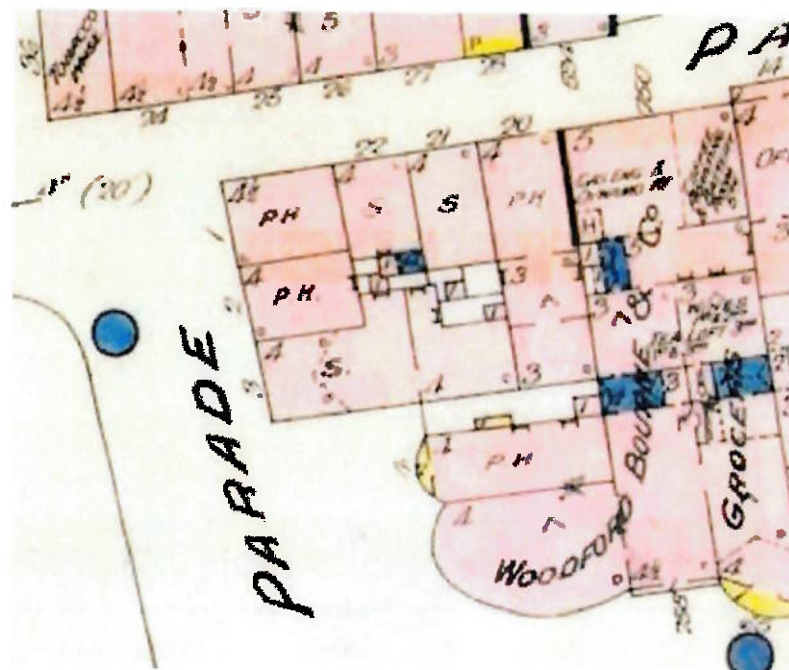
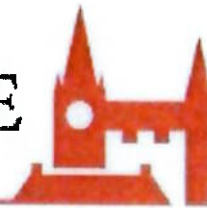
Photograph 29 View of chipped paint and heavy soiling to the base of Column 1.



Photograph 30 View of screwdriver puncturing through decayed timber.



Photograph 31 **View of screwdriver puncturing through decayed timber.**



SECTION 57 REPORT

For

3, Daunt Square,
St. Patrick's Street/ Grand Parade,
Cork.

Prepared by: Emma Baume, MA

March 2019

Contents:

1. Introduction
2. Outline Historic Background
3. Outline Schedule of Works
4. Photographic Record
5. Drawings

Appendix 1 Specifications

1. Introduction

1.1 Overview:

Southgate Associates were engaged by The Building Consultancy to provide a Section 57 Report for submission to Cork City Council prior to the commencement of conservation and restoration works at 3, Daunt Square. The nature of the works are described in Section 3 of this report, and in our opinion they do not constitute a material alteration to the fabric of the historic building. Chris Southgate and Emma Baume carried out a site inspection on Friday, March 8th. We did not carry out any opening up works, therefore we are unable to state that any parts of the building that were not exposed are free from defect. Opening up works had been carried out in the past however, and these were informative in dating the structure. The structure is generally in good condition for a building of this type and age; however a horizontal crack on the western elevation does need to be addressed urgently as part of the proposed works.

1.2 Protection Status:

3, Daunts Square dates from the late eighteenth/ early nineteenth century. The building is a protected structure in the Cork City Development Plan, 2015-2021 (PS980) and as such is afforded protection under the Planning and Development Act, 2000. The building is listed on the National Inventory of Architectural Heritage (NIAH). It is noted to be of architectural interest and regional significance (NIAH 20512793). 3, Daunt Square is also located in the Paul Street Architectural Conservation Area, which is defined by its eighteenth century buildings on small plots. The Cork City Development Plan notes that the area retains the eighteenth century street layout, which is particularly evident at Daunt Square where the former marshes can still be defined following the canalisation of the streets as the eighteenth and nineteenth centuries progressed. The building is not a recorded monument, but it is located in the Secondary Zone of Archaeological Potential for the city.

2. Outline Description and Historic Background

2.1 Description:

3, Daunt Square is a four storey building with a hipped slate roof and rendered chimneystacks. It has slightly overhanging eaves with corbels below. The building is six-bay on the front elevation and one-bay on the western elevation. The windows on the first and second floors comprise one-over-one timber sliding sashes with incised render surrounds, while those on the third floor are round-headed one-over-one timber sliding sashes. The windows in the northern elevation of the stairwell are two-over-two timber sliding sash windows. Scrolled ironwork grills have been placed in front of the lower sashes on the first floor level. The front and western elevations give onto Daunt Square while the rear (northern) elevation gives onto a narrow yard and faces the southern elevation of the buildings on Paul Street. To the east, the building adjoins the former Woodford and Bourne building.

The ground floor contains the 3 Mobile shop and is lit by plate glass windows in the southern and western elevations, which were installed in the 1998 renovation of the building. Modern open stairs against the northern elevation provide access to the first floor, which functions as an open-plan office for 3 Mobile staff, with a store room through a door in the western elevation and a kitchenette through a door in the eastern elevation. The second floor is accessed by a staircase from a lobby to the north of the kitchenette. Although the staircase joinery is Victorian, the structure appears to be Georgian, based on the evidence of four remaining balusters dating to this period.

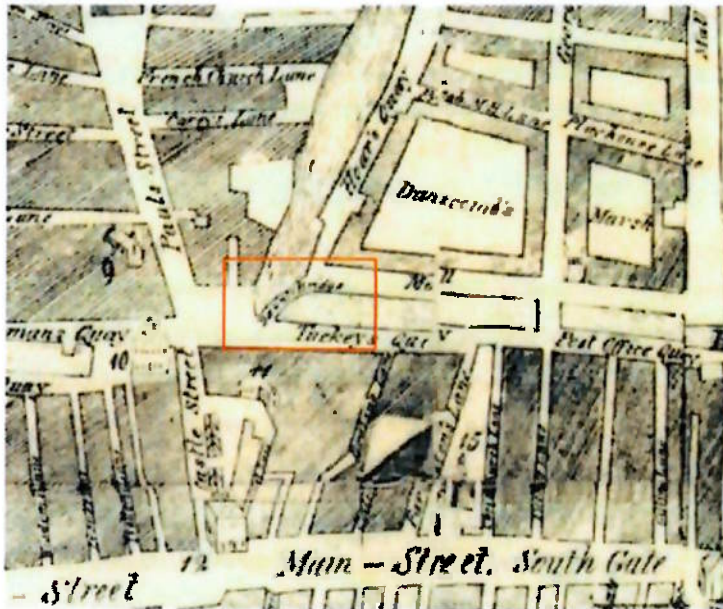
The second and third floor have functioned as flats in the past, but are unoccupied at present. The general layout of the floors do not appear to have changed since the renovation of the building in the 1880s, with the exception of two fireplaces on the third floor dating to the 1930s and sanitary ware on the second and third floor, which dates to the mid and later twentieth century and comprises standard sink units, close-coupled WCs and standard baths. The windows on the second and third floors appear to be in good condition, however sash cords and pulleys have been removed in the past and the windows have been nailed shut. This should be relatively easy to reverse. Floorboards are in good condition and also date to the 1880s, but should be lifted to check structural stability in certain locations. Some boards are damaged and these should be repaired in accordance with best practice conservation standards. The archway in the landings on the second and third floors show cracks at their northern ends which should be tied with Helibars and the masonry made good (see Section 3

and Appendix 1). There is quite a serious crack at the junction of the northern and western elevations on the second floor. The floorboards are not tied into the wall here and as a result the western elevation is bowing outwards. This should be addressed at the earliest opportunity under the supervision of a structural engineer.

2.2 Historic Background:

Daunt Square is the name given to the small section of street and pedestrian area at the junction of Patrick's Street, The Grand Parade, Paul Street and Castle Street. It is located to the north and west of the former Daunts Bridge, which gives the area its name. The building at 3, Daunt Square is located on a corner, with its southern elevation facing the square and the Grand Parade and its western elevation facing the street running north-south through Daunt Square.

Cork City centre was built on a series of marshy islands which were gradually reclaimed from the eleventh to the nineteenth century. The development of the city shown on cartographic sources has since been further clarified by archaeological evidence in the medieval and post-medieval city. Reclamation of the river channels began in the medieval city along North and South Main Street and continued in the post-medieval period along Cornmarket Street and towards the Patricks Street/ Grand Parade area. Smiths Map of 1750 shows Daunts Bridge for the first time, connecting Pauls Street and Tuckeys Quay to Hoar's Quay and the Mall. This map also shows buildings in the present-day location of Daunt Square, suggesting that the building at 3, Daunt Square could date to as early as the 1750s. Individual building plots are not shown on this map however, so it is not possible to definitely match the map with the current building topography. Roques maps of 1759 and 1773 present a similar query, as does Connor's map of 1774 and Murphy's map of 1789. William Beaufords 1801 map is slightly more clearly defined however, and indicates the presence of buildings fronting Paul Street to the north and fronting Daunts Square/ the Grand Parade to the south. The buildings shown include the footprint of 3, Daunt Square, suggesting it had been constructed by 1801 at the latest. An inspection of the internal building fabric bears this out. The surviving joinery is extensive and dates largely to the 1880s, with the exception of four staircase spindles which are Georgian. Sections of brickwork were also exposed under windows and in external elevations, where opening-up works had been carried out in the past. The brick was handmade yellow slob brick, also dating the building to the late eighteenth/ early nineteenth century.



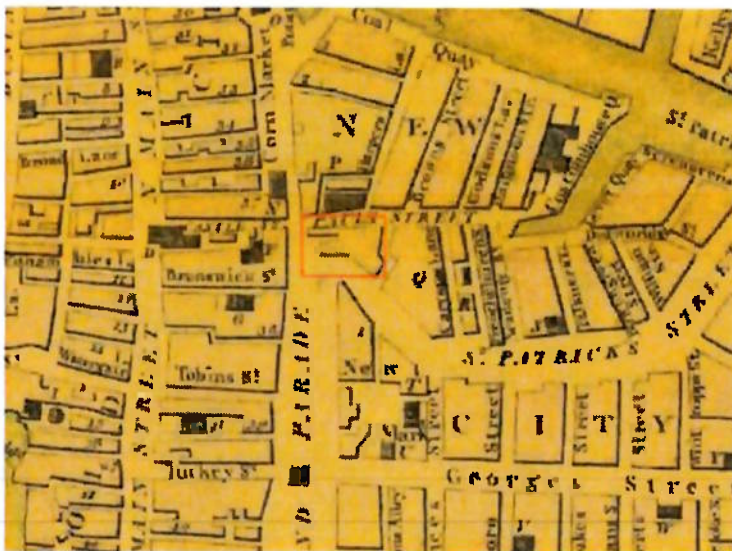
Smiths Map of Cork City dating to 1750, where Daunts Bridge is shown connecting Paul's Street and Tuckey's Quay to Hoar's Quay and the Mall



Roque's 1773 Map of Cork City, where Daunts Bridge is still shown, despite infilling the former river channel to the south



Murphy's Map of Cork City dating to 1789, showing The Grand Parade and Patrick's Street infilled and named. The plan of the buildings on Daunt Square has changed also

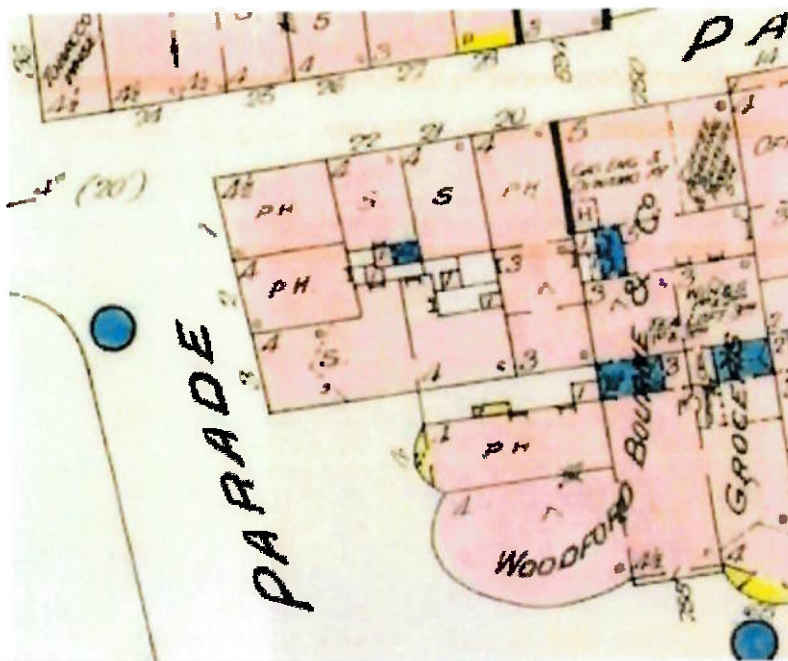


William Beauford's Map of Cork City dating to 1801

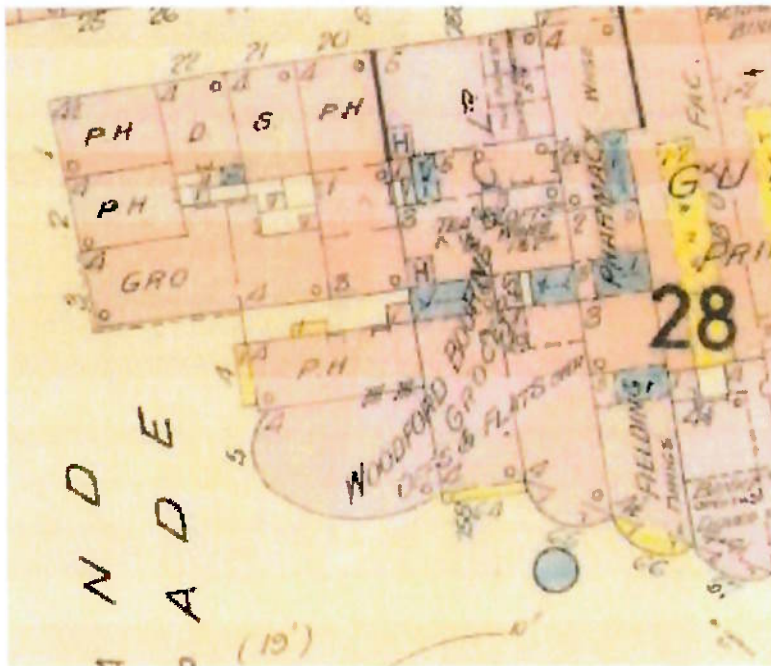
Farren House, Cork Rd. Mulleton
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<http://southgateassociates.ie>

Lisle Hammond Holdings Ltd, Company Registered in Ireland No. 436463, VAT No. 9631802A
Trading as Southgate and Associates
Directors: C. H. Southgate MA (Cantab), FIEI, M.I. Struct. E., C. Eng. Dr. DK Lysaght B.Sc., Ph.D.
Associates: Clara O'Flynn B.A., M.A. Emma Baume B.A. H.Dip., M.A.
Financial Director: Myrtle McGivern

Based on the evidence of Section 2.1 above and the general development of the area, it is likely that the building at 3, Daunt Square was a dwelling house. There is no surviving building fabric on the ground floor, but it is unlikely that it functioned as a warehouse at this level, which was common with houses close to working quays and river channels. By 1789, the former Patricks Street river channel had been infilled, so it is probable that 3, Daunt Square was constructed as a house. The Goad Insurance maps provide a good record of building use. The 1897 map shows 3, Daunt Square with the same footprint and fenestration (from the first floor upwards) as the present day. It is listed as a shop until 1929, when it is noted as a grocers with an overhanging wood cornice until the maps were no longer produced after 1961. A replacement timber shopfront was installed on the ground floor in 1998 and the ground and first floors currently operate as a 3 Mobile shop. The upper floors previously functioned as flats and contain a mixture of Victorian and 1930s building fabric. They are unoccupied at present.



Goad Insurance map from 1897 Where 'S' is shop and 'PH' is public house and where numbers (3, 4) are the average number of windows per floor



1929 Where 'GRO' is grocers and the dotted line denotes an overhanging wood cornice

3. Outline Schedule of Works

It is proposed to conserve and restore the external envelope of 3, Daunts Square and to address any structural issues that threaten to damage the building fabric. It is also proposed to conserve and restore the internal building fabric on the second and third floors. All works will be carried out in accordance with best practice conservation standards and with due regard to the special character of the protected structure. The works are set out below, with specifications and sketches in Appendix 1.

3.1 Exterior Works:

Removal of damaged render from all external façades and new lime render to be applied all facades, to match original. Existing plaster to be left in-situ at string course level to ensure the conservation of corbels and around windows, to enable the retention of the incised render detail. All plaster reveals to be repaired upon reinstatement of windows following conservation. Plasterwork on chimneys to be repaired as required.

All sliding sash timber windows to be removed assessed by a joiner experienced in the conservation of historic sash windows. Windows to be conserved/ repaired where necessary and removed from site for same if deemed necessary by joiner. Sash chords and pulleys to be reinstated.

Timber roof structure, fascias and soffits to be inspected. Where damaged timber items are identified, timber to be treated on site if possible or damaged portion of timber to be removed and new timber spliced into place.

Within the roof space, one layer of mineral wool insulation to be provided between ceiling joists and one layer provided over ceiling joists.

3.2 Internal Works:

Internal works will be carried out on the second and third floor only, including the staircase from the first to the second floor. Minor repairs are required to the plaster ceilings in localised areas and decoration is necessary throughout. Where significant damage is identified, areas of lath and plaster ceilings to be removed and new lath and plaster to be reinstated.

Minor repairs are proposed to plastered walls in localised areas and decoration is proposed throughout the second and third floors. Where significant damage is identified in partitions, these will be repaired on a like for like basis. Where significant damage is identified in masonry walls, areas of plaster are proposed to be removed and new lime plaster applied to match the existing, in accordance with the plaster specification in Appendix 1.

Timber floorboards will be provided on a like for like basis where they are missing. Damaged floor boards are to be repaired where possible or replaced if necessary. Timber joists are to be inspected in a number of locations to determine their condition. Where damaged joists are identified, timber is to be treated on site if possible or the damaged portion of timber to be removed and new timber spliced into place.

The staircase is to be redecorated throughout. Missing balusters/ spindles to be provided to match the existing. Damaged elements to be conserved and repaired where possible or replaced if necessary by a joiner experienced in working with historic buildings. It is proposed to redecorate and service the doors with new ironmongery to be installed as required. Missing or defective elements are to be replaced on a like for like basis by a joiner experienced in working with historic buildings. The skirting boards, architraves, dado rails and picture rails are to be redecorated throughout. Damaged elements are to be repaired if possible or replaced if necessary on a like for like basis. All timber trims, jamb panels, window boards, plinth panels and sash boxes are to be inspected by a joiner experienced in working with historic windows and damaged or missing elements are to be repaired or replaced on a like for like basis if necessary. Internal window elements are also to be redecorated throughout the first, second and third floors.

The remains of the later twentieth century kitchenettes on the second and third floors are to be removed. It is proposed to carefully remove all mid and later twentieth century sanitary ware and replace it with new. Electrical items will be treated on a similar basis.

All fire places are to be redecorated or repaired if necessary. A fire resistance upgrade is to be provided to the floor structure of the second floor, to provide compartmentation between the upper floors and the ground and first floor shop/ office space. This will be carried out on the basis of minimum intervention and reversibility, where it is proposed to lift floorboards and insert an Envirograf or

similar graphite impregnated cloth barrier covered with a reinforced craft paper. Alternatively, floorboards can be lifted in localised areas and Ticon or similar foamed perlite introduced between joists, also providing fire protection. These measures have been designed to provide minimum disruption to the operation of the business in 3 Mobile, but moreover will ensure the Georgian proportions internally will be maintained.

3.3 Structural Works:

A number of cracks are visible in the existing structural walls and arches, which were inspected by Chris Southgate, FIEI. Cracks on the front elevation are historic and due to the gradual settlement of the building over time. The crack on the junction between the western and northern elevation is serious and should be tied in accordance with 'Type B' detail (Appendix 1) as a matter of urgency. Cracks in the northern side of the arches on the second and third floor landings should be tied with 6mm Helibars @ 450 centres. The northern sides of the arches on the second and third floors should be stitched in accordance with the specifications in Appendix 1.

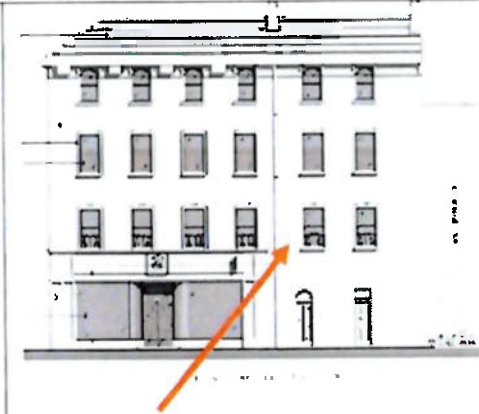
It should be noted that scaffolding and hoarding is to be provided to Daunt Square and the Grand Parade, with a skip to be provided within hoarding on the Daunt Square side.

4 Photographic Record

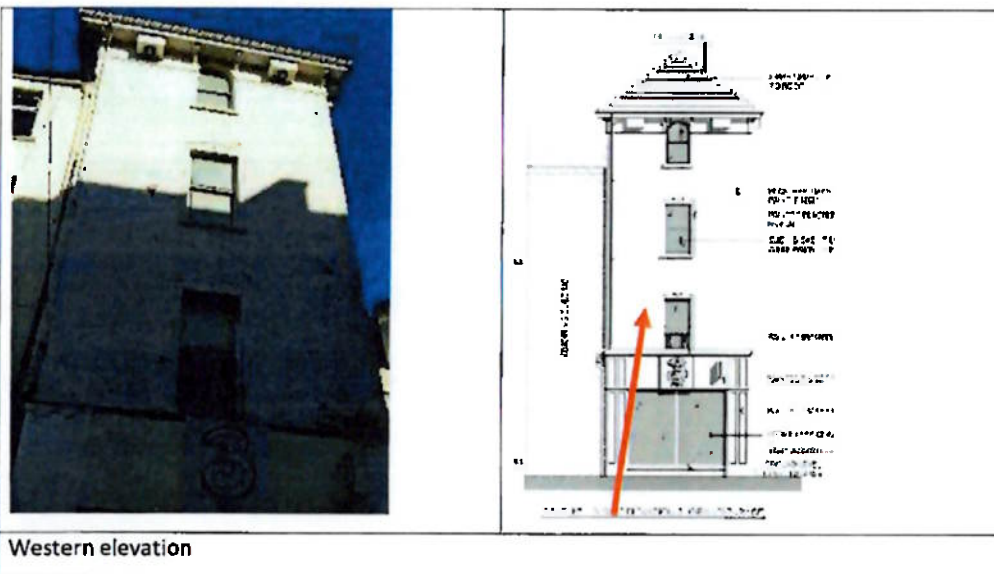
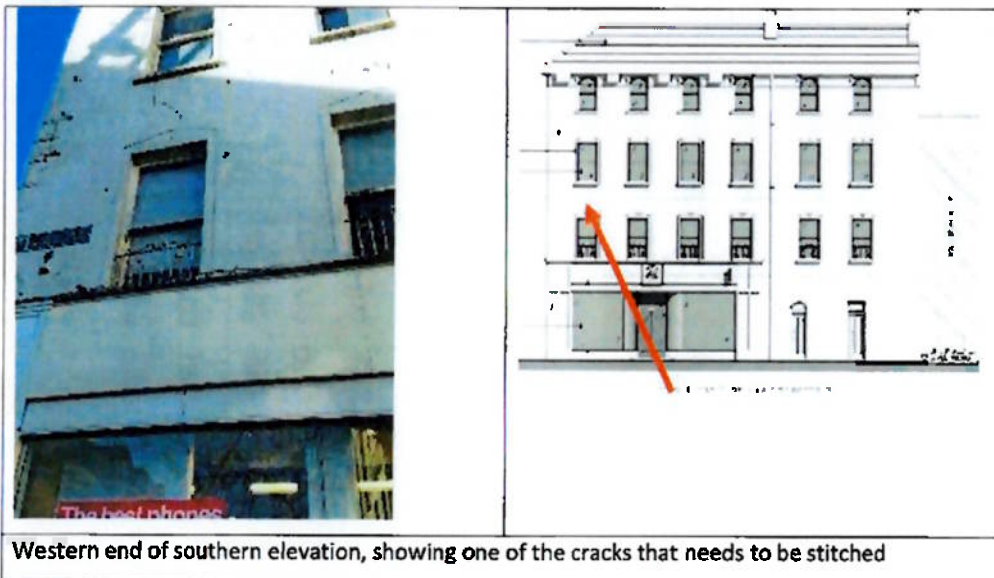
4.1 External photos:

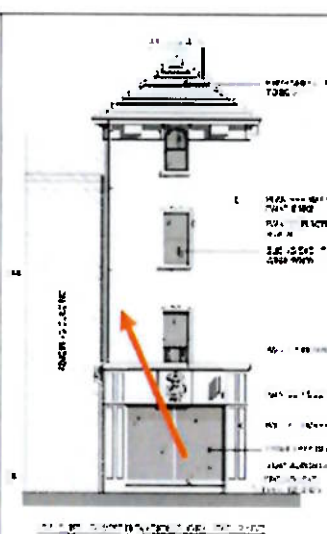


Southern elevation, showing cracked and peeling paint



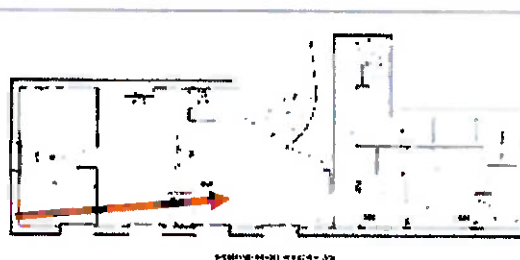
Eastern end of southern elevation, where it adjoins former Woodford and Bourne building



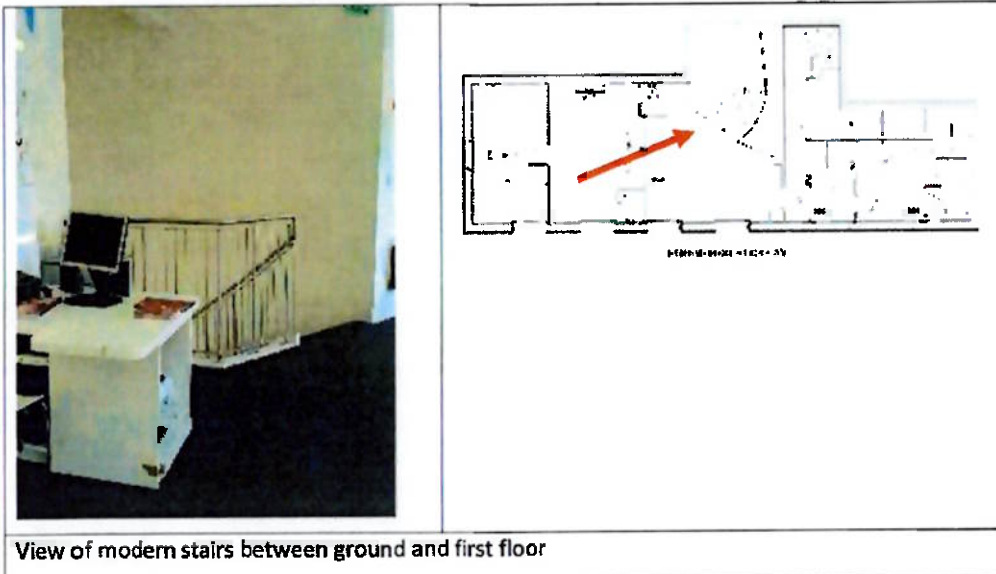


Western elevation showing horizontal cracks at first floor level where the elevation is bowing outwards

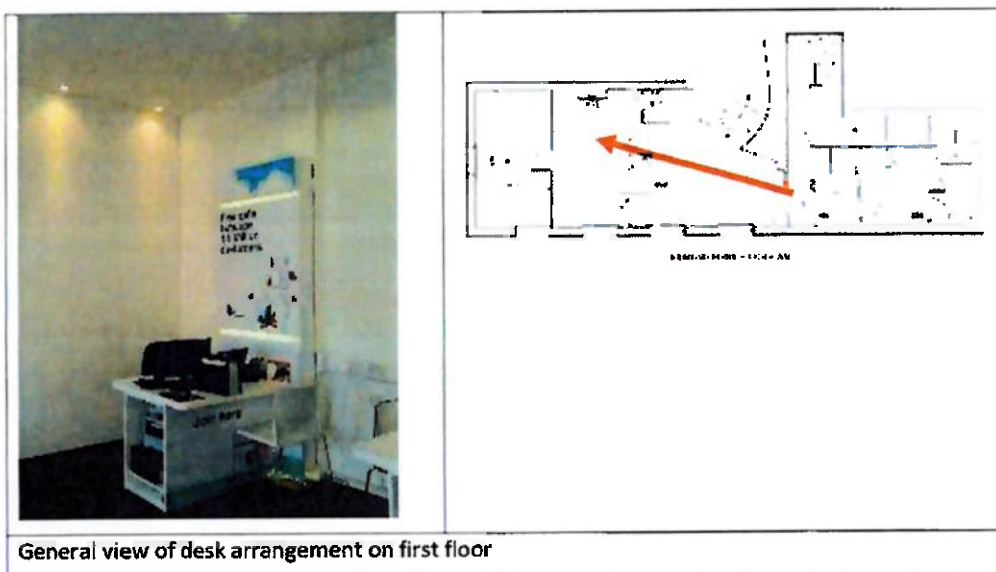
4.2 Internal first floor photos:



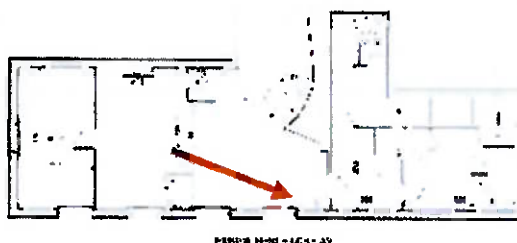
General view of first floor office



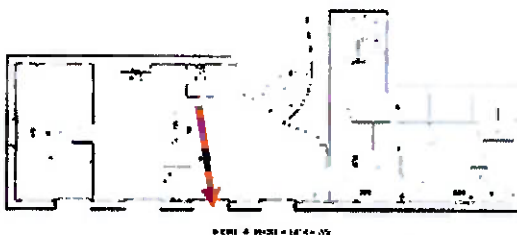
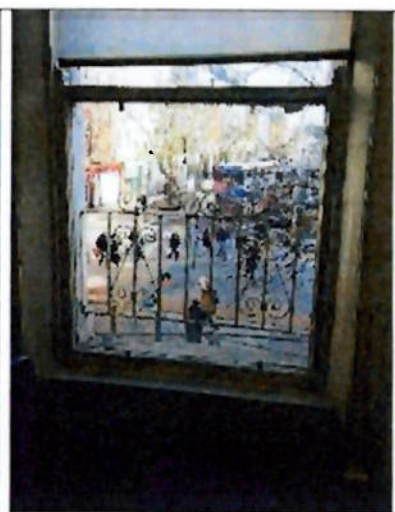
View of modern stairs between ground and first floor



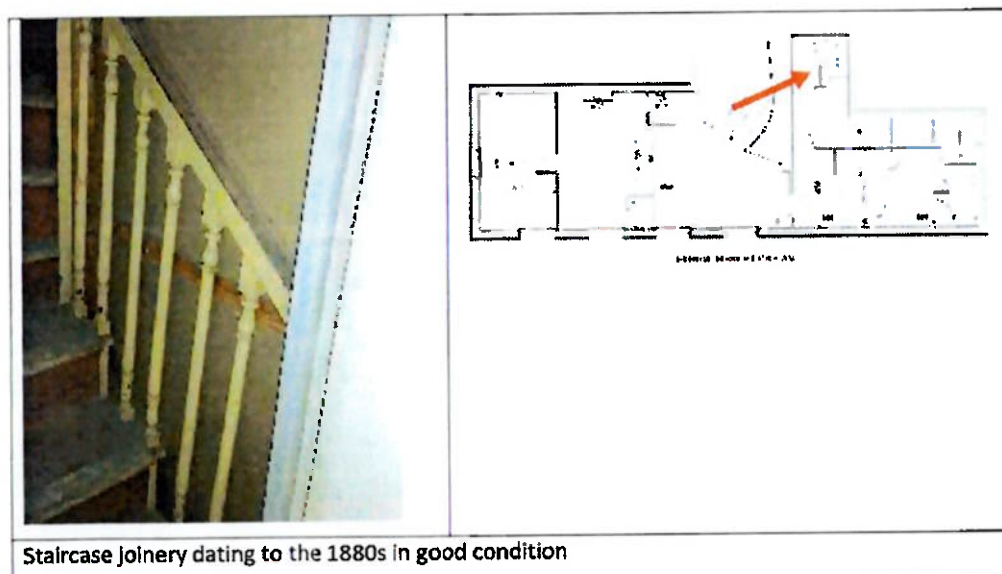
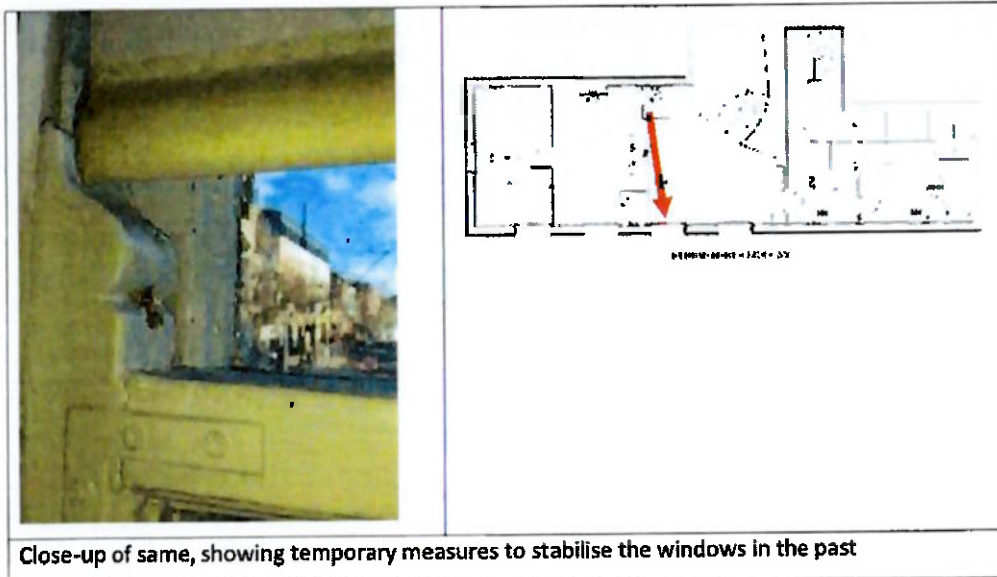
General view of desk arrangement on first floor

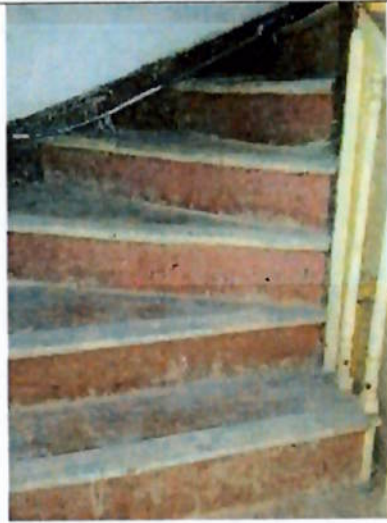


Late nineteenth century skirting boards survive on the first floor, with minimum intervention from cabling added later

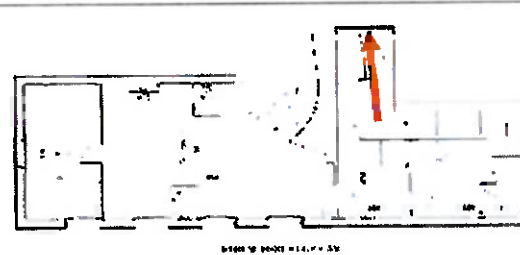


One-over-one timber sliding sash in the southern elevation, showing external scrolled ironwork grill





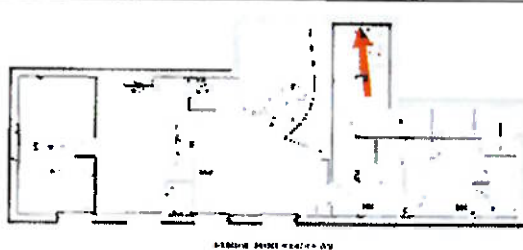
Staircase joinery dating to the 1880s in good condition, showing linoleum covering the treads



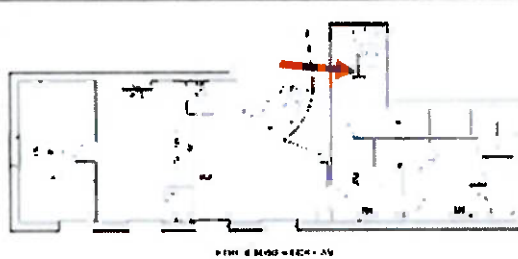
Two-over-two timber sliding sash window located in the northern elevation of the stairwell, which has been covered with opaque decals



Missing balusters on staircase between first and second floors

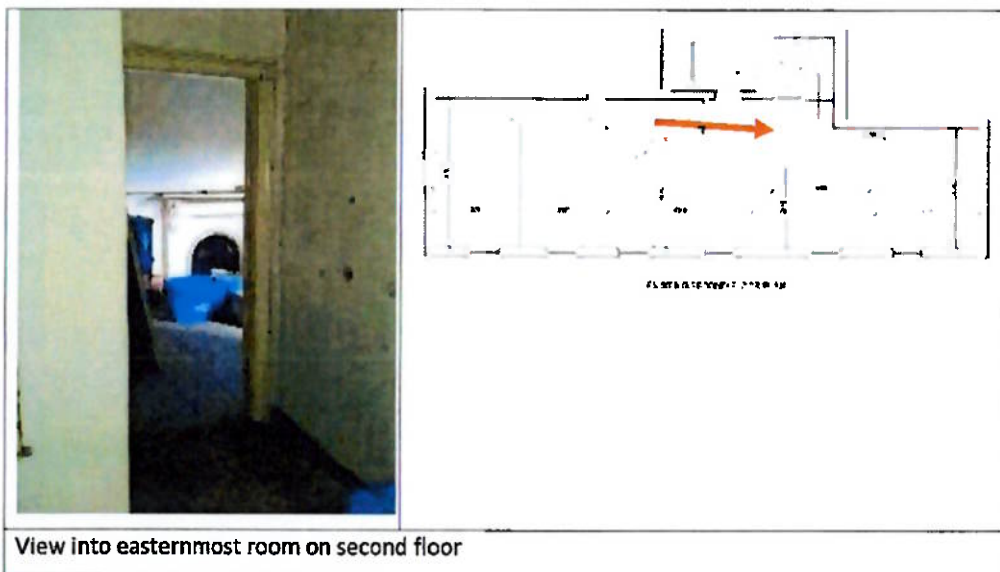
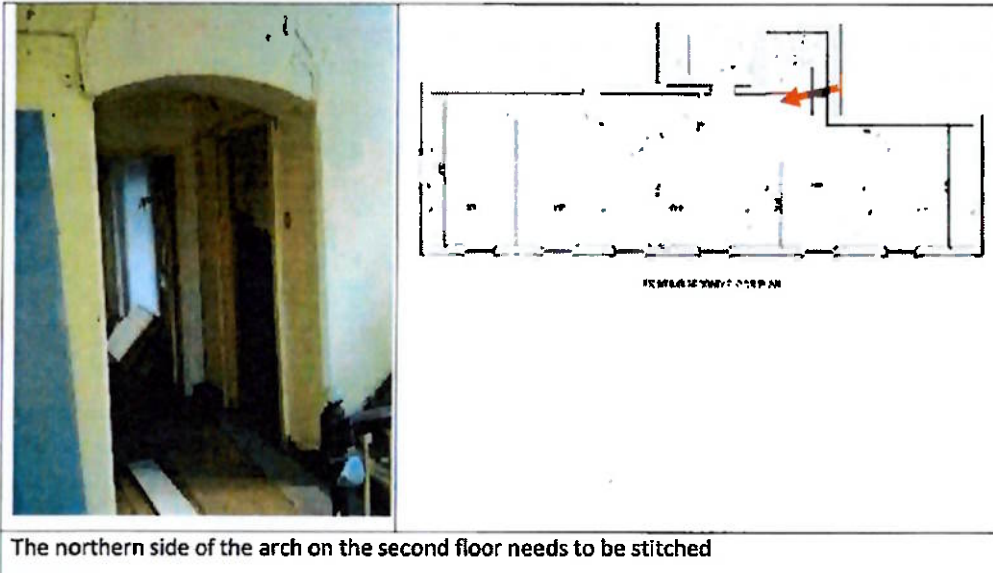


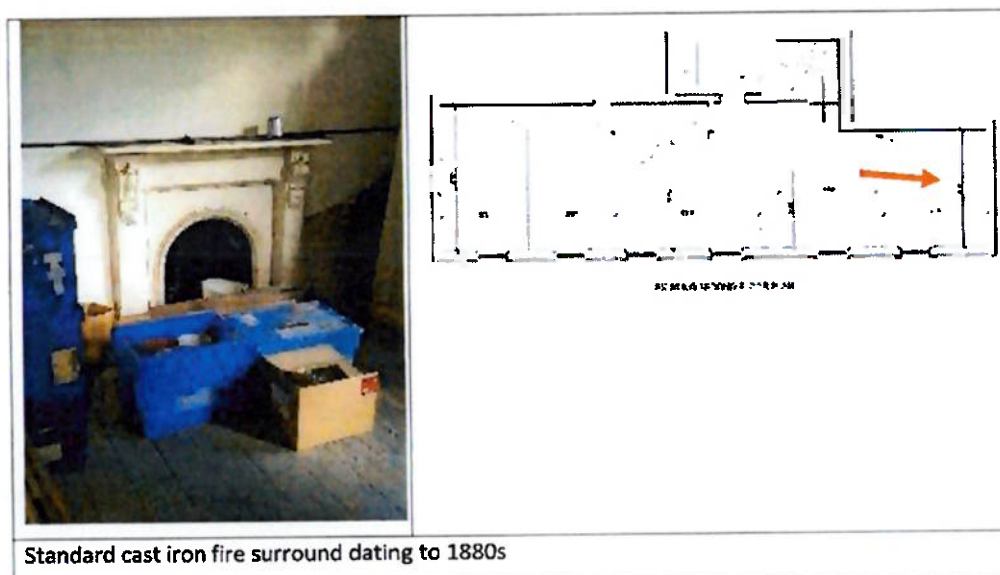
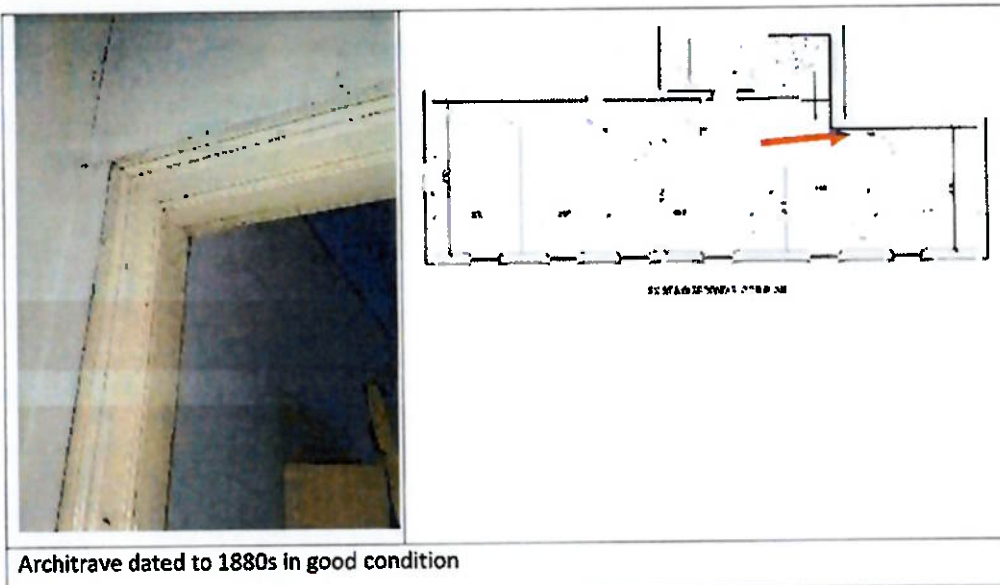
Two-over-two timber sliding sash window located in the northern elevation of the stairwell, showing architrave

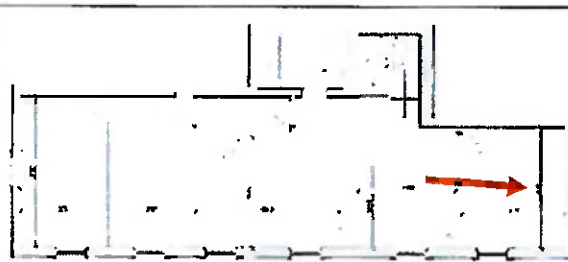


Four surviving Georgian balusters on the second floor landing, representing the earlier phase in the buildings development

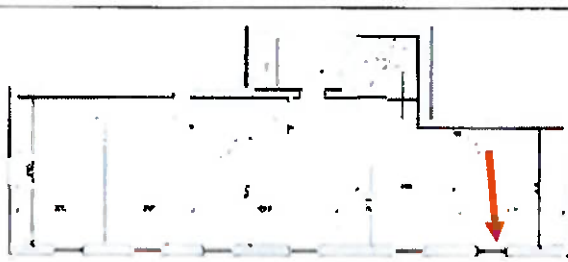
4.3 Internal second floor photos:



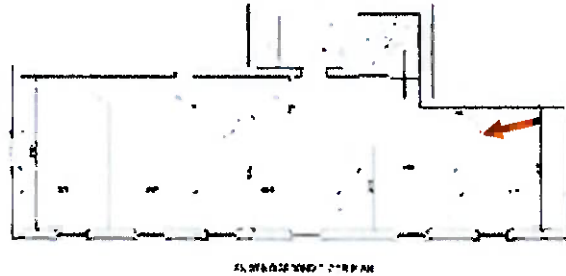




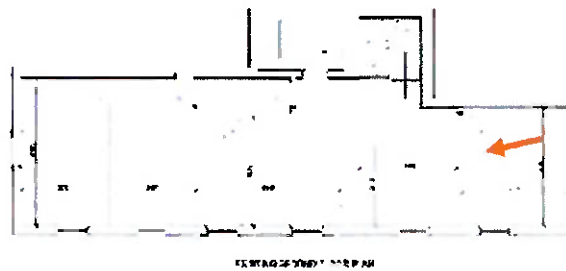
Detail of cast iron console bracket supporting mantel piece



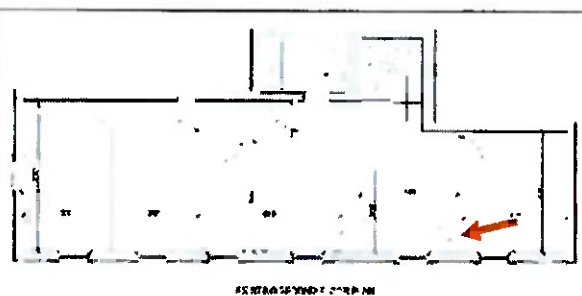
General view of one-over-one sash window



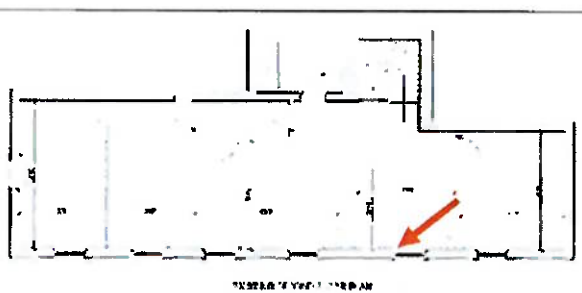
Four-panelled doors with mouse-moulding are found throughout the second and third floors and are in good condition overall



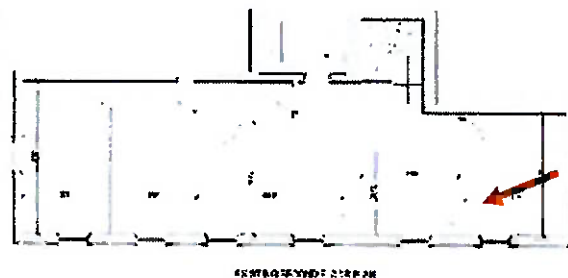
A number of doors are not hanging, but have been carefully stored and are in good condition



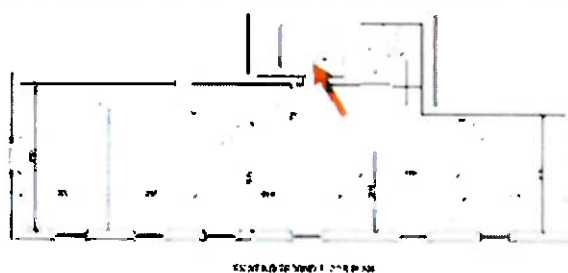
Former dressing room, only accessible from the easternmost room on the second floor



Sash boxes have been damaged in order to remove chords and pulleys on almost all windows



Some floor boards are loose with sections missing, but they are generally in good condition



Mid-later twentieth century sanitary ware in second floor bathroom, showing sliding sashes with coloured decals

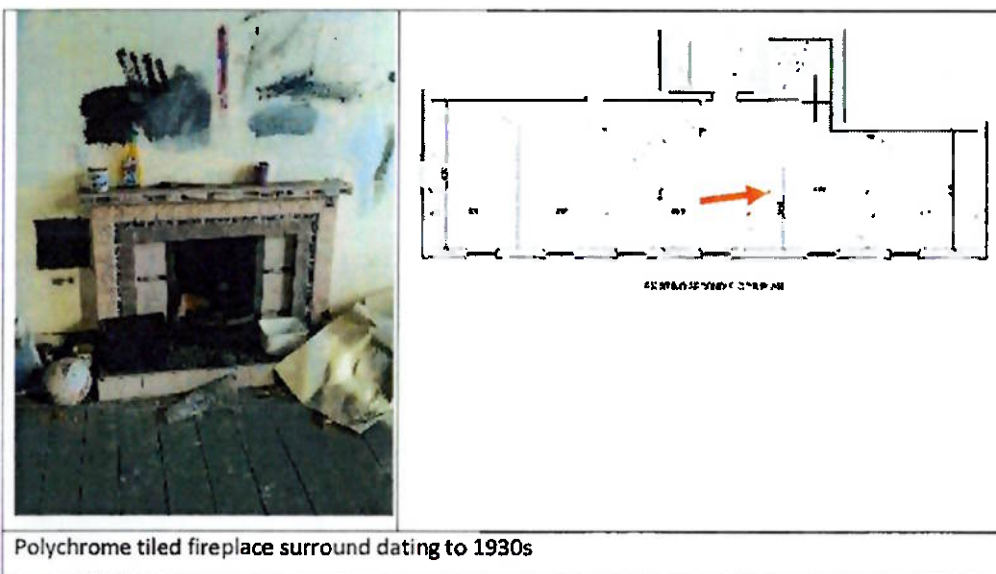




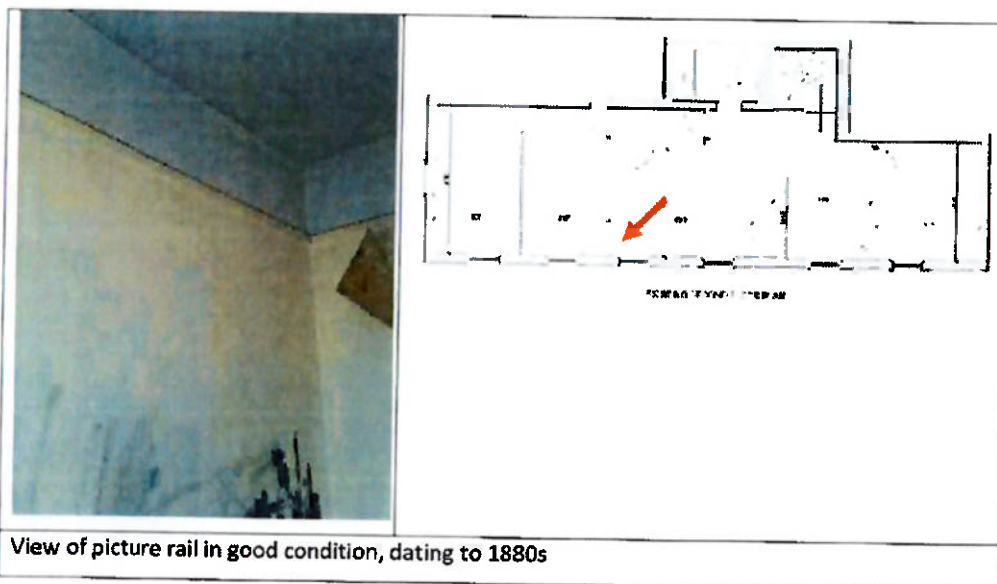
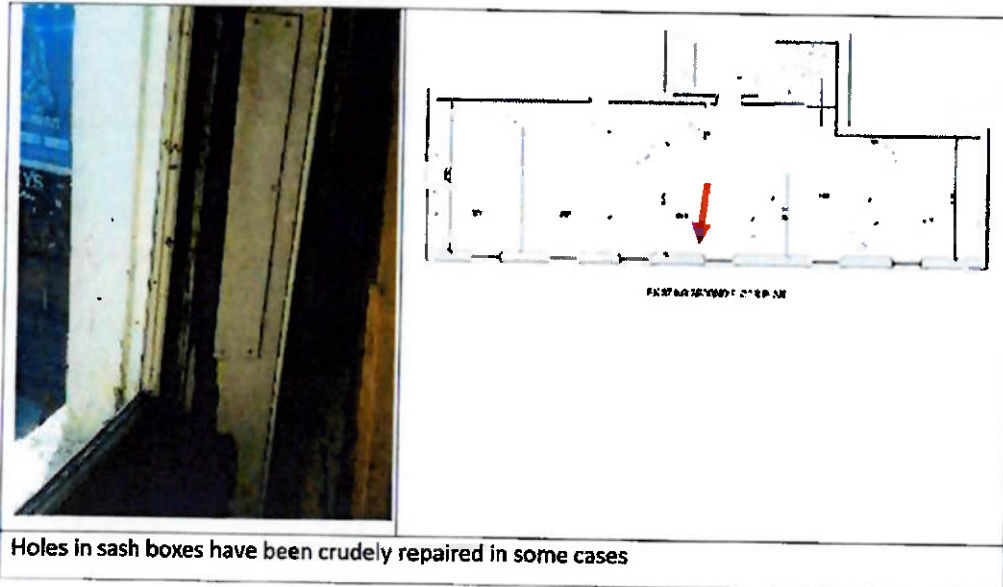
FIGURE 1: REMOVED PANELLING

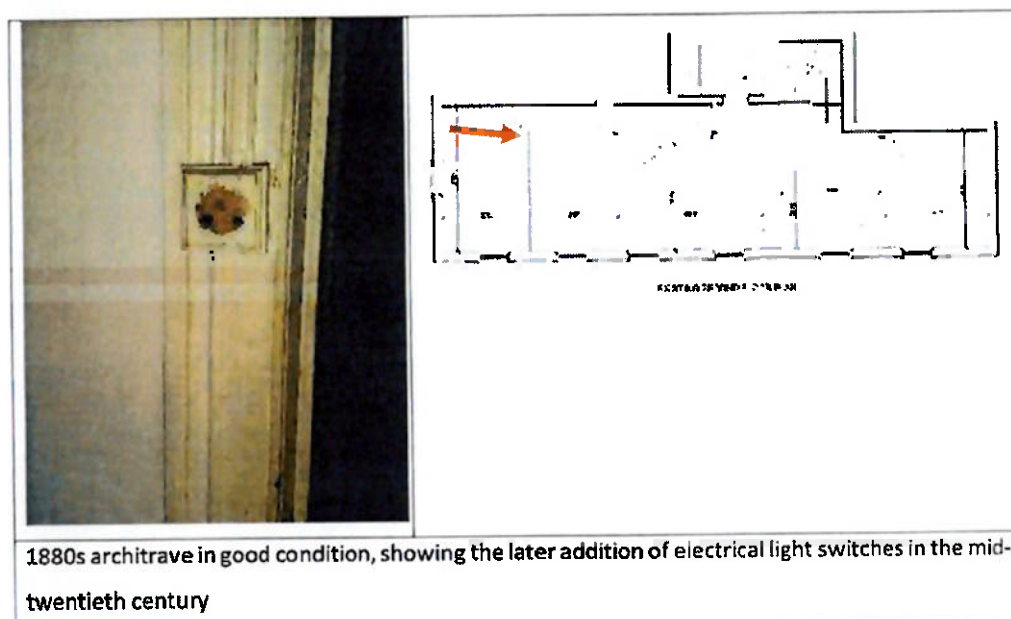
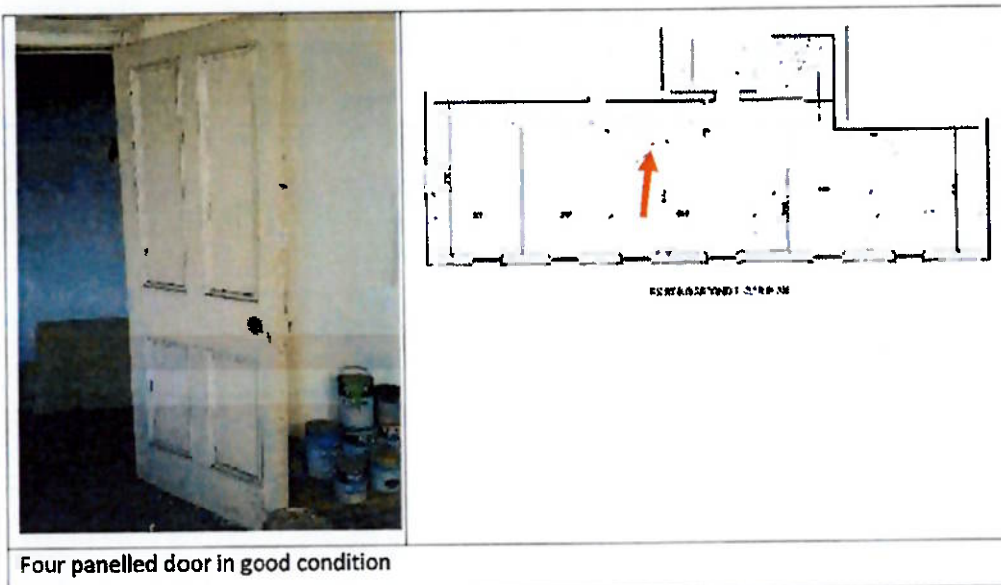
Panelling has been removed below windows in some instances, revealing yellow slob bricks

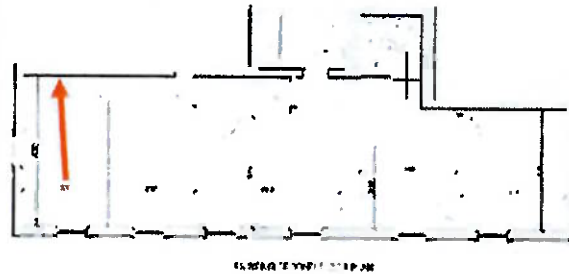


FIGURE 2: FRIABLE BRICKWORK

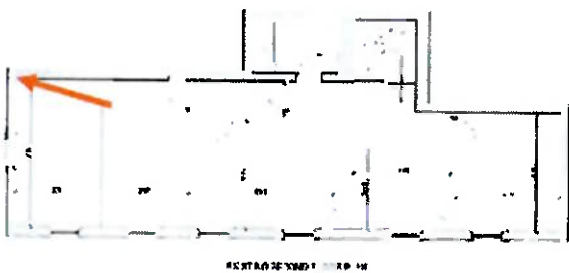
Yellow slob brick with lime mortar, which has become loose and friable. The fruiting body of wet or dry rot is also visible and should be further investigated



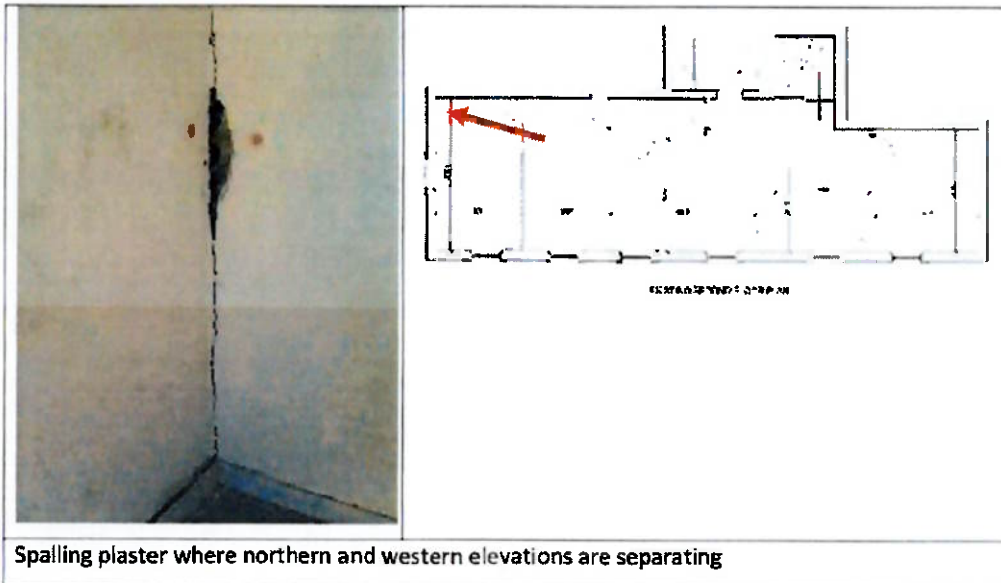




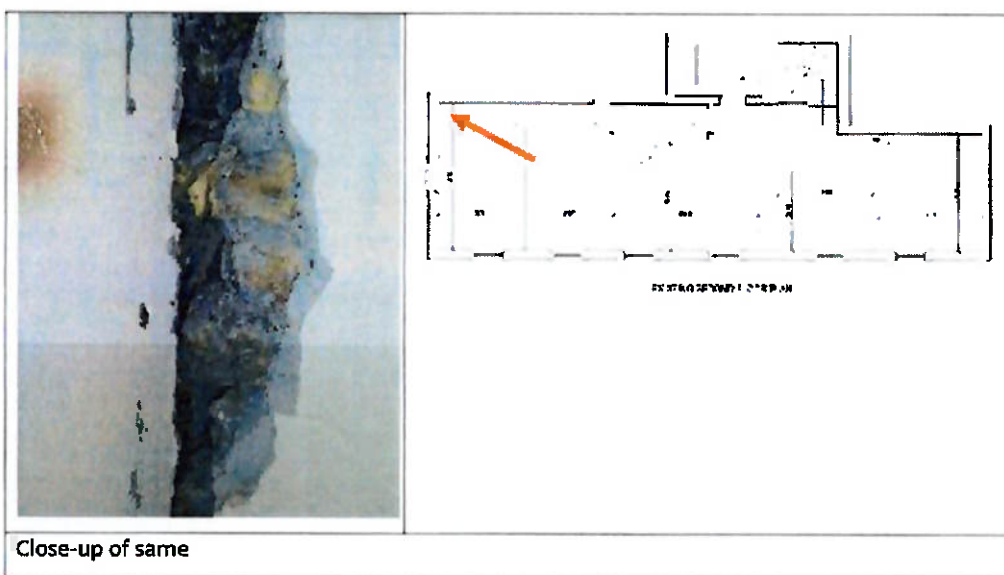
Standard cast iron fire surround dating to 1880s



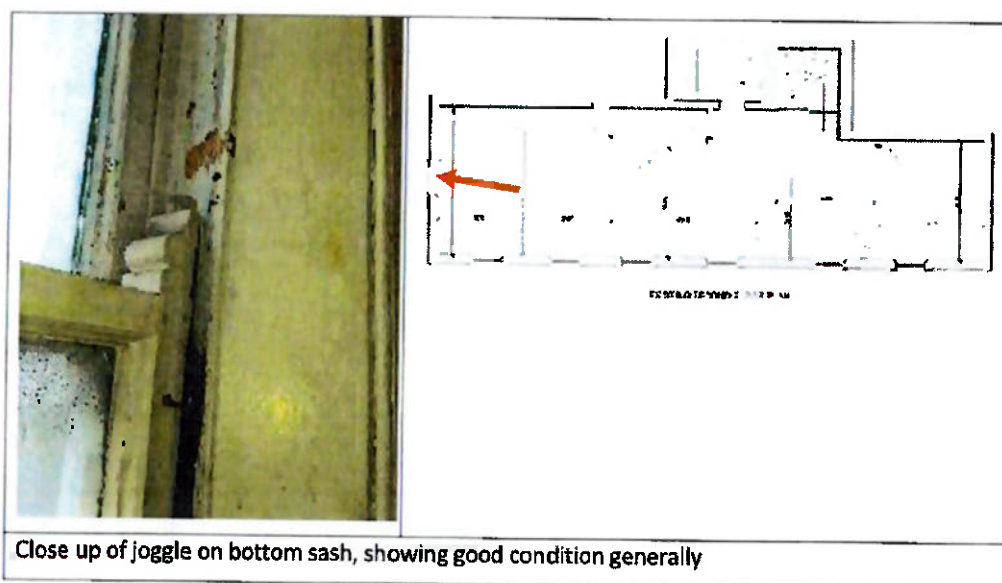
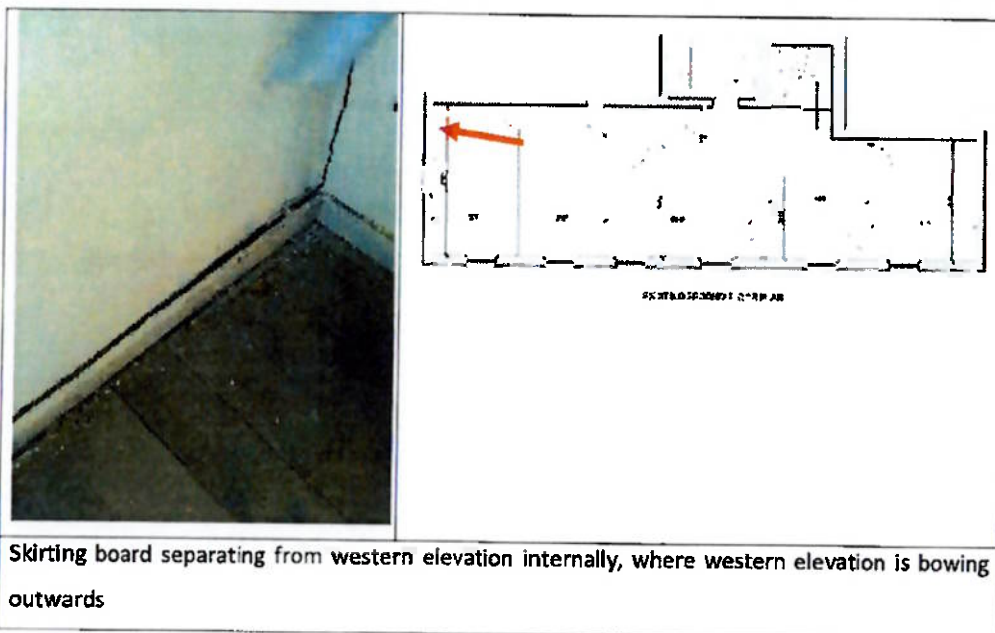
Serious cracking at the junction of the northern and western elevations of the second floor which needs to be addressed as a matter of urgency



Spalling plaster where northern and western elevations are separating



Close-up of same



4.4 Internal third floor photos:



General view of the staircase from the second to the third floor



Two-over-two timber sliding sash window located in the northern elevation of the stairwell



Termination of the staircase on the third floor landing



Newel post at half landing, showing a plain replacement baluster to left



The northern side of the arch on the third floor also needs to be stitched



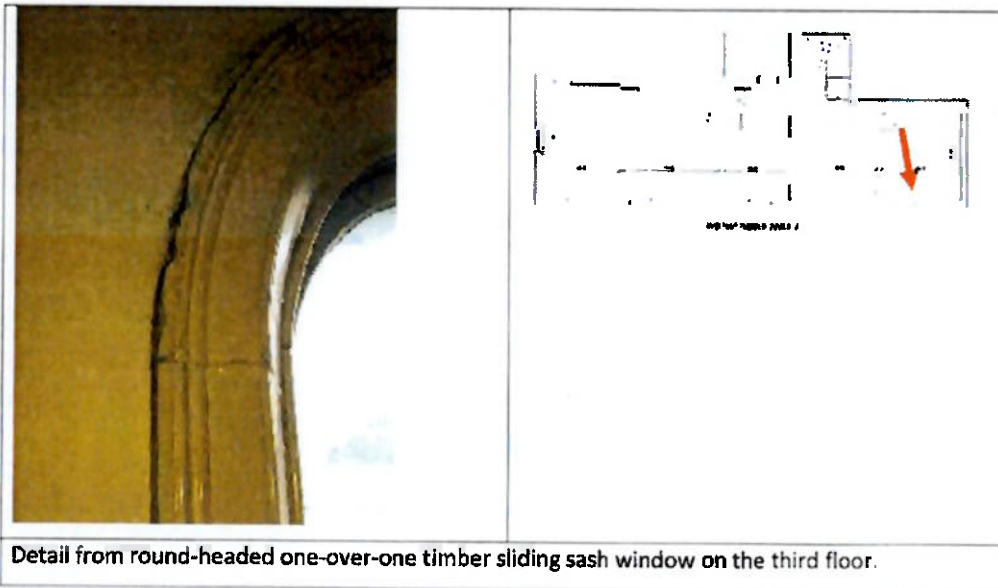
General view towards easternmost room



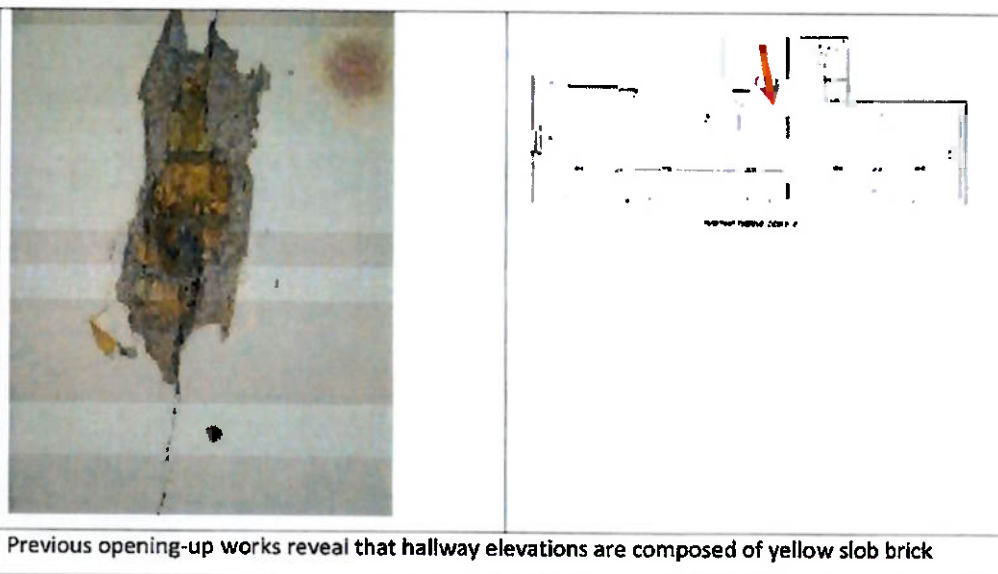
Polychrome tiled fireplace surround dating to 1930s



Round-headed one-over-one timber sliding sash window on the third floor.



Detail from round-headed one-over-one timber sliding sash window on the third floor.



Previous opening-up works reveal that hallway elevations are composed of yellow slob brick



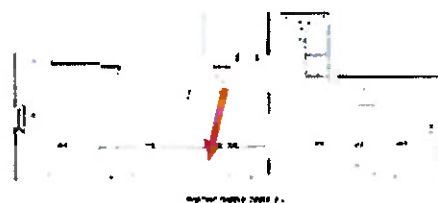
View towards landing on third floor, with four-panelled door in good condition



Former dressing room, with access from the easternmost room only.



One-over-one timber sliding sash window in bathroom in northern elevation



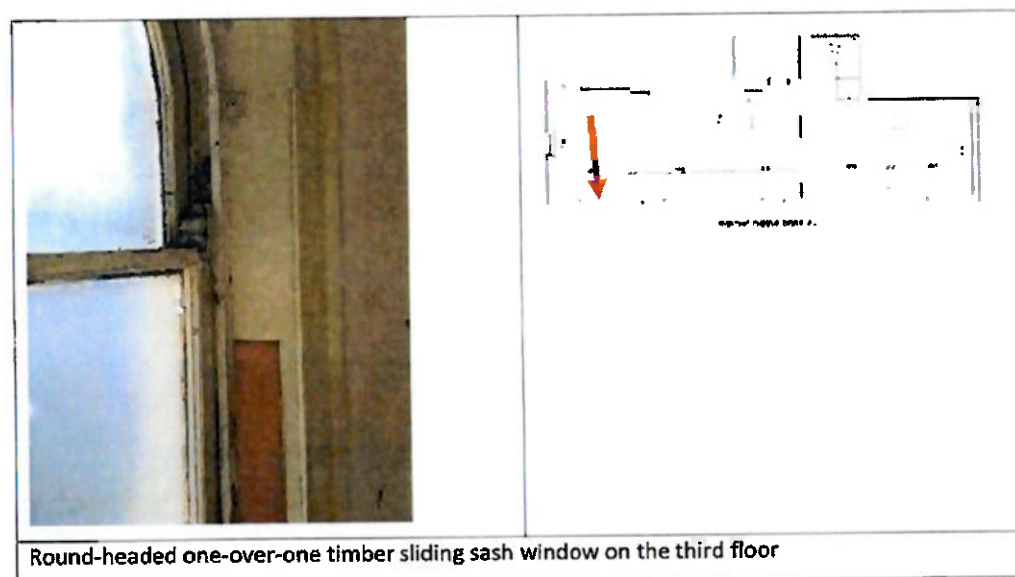
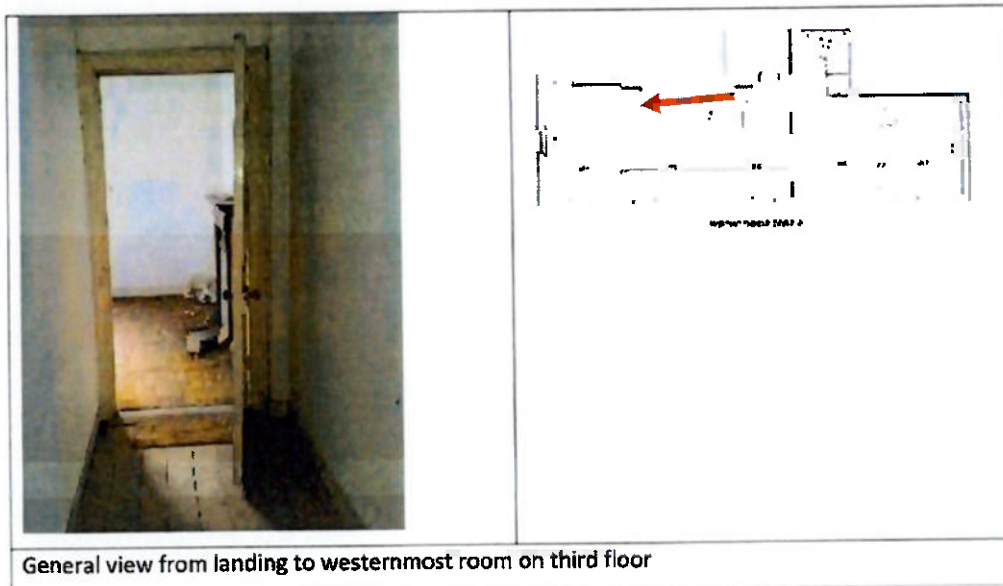
General view towards windows in southern elevation



Kitchenette in middle room on third floor, to be removed



Hole in lath and plaster ceiling, where leaking water tank caused localised collapse





Late nineteenth century fireplace and surround



Four-panelled door in good condition, dating to the 1880s

5 Drawings

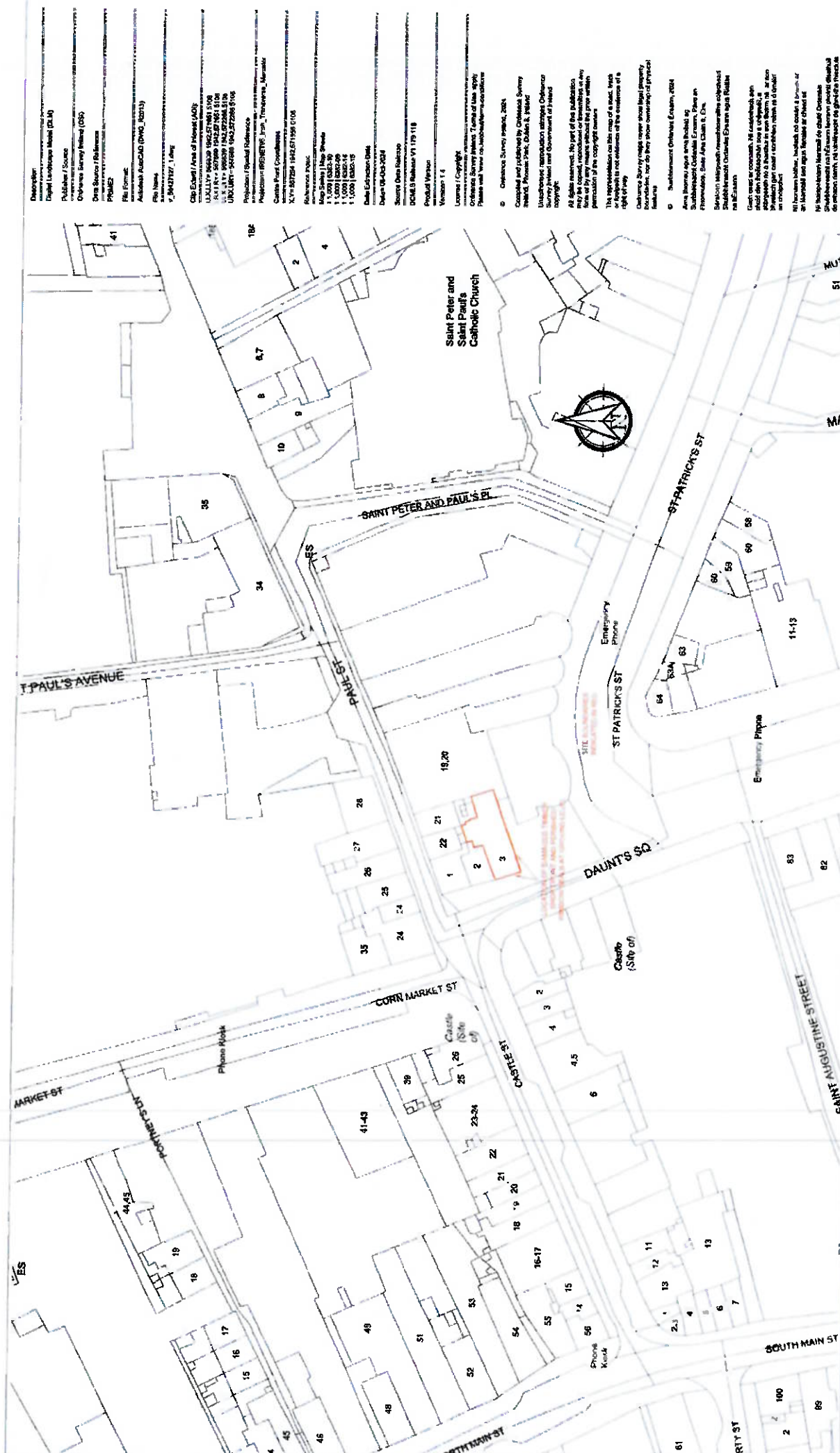




THE BUILDING CONSULTANCY

Client: THREE (IRELAND (HUTCHINSON)) LIMITED
Project: 3 DAUNT SQUARE, DORK
Title: EXISTING ELEVATIONS
Project Number: 25078
Dwg No: P003
Status: SECTION 5 APPLICATION
Scale: 1:100 @ A3
Drawn: RM
Checked: MH
Date: 08 OCT 2004
Rev: -

Rev. • Date: • • •



THE BUILDING CONSULTANCY

Client: THREE IRELAND (HUTCHISON) LIMITED
Project: 3 DAUNT SQUARE, CORK
Title: SITE LOCATION MAP
Project Number: 25078

Dwg No: P001 Rev: -
Status: SECTION 5 APPLICATION
Scale: 1:1000 @ A4 Date: 08 OCT 2024
Drawn: RM Checked: HH

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Product Version: 1.0

Revision: 1.0

Drawn: RM

Checked: HH