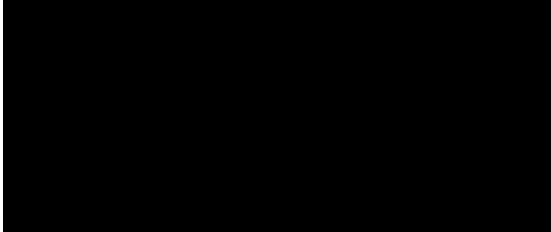


Comhairle Cathrach Chorcaí

Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Valero Energy Limited,



27/07/2026

RE: Section 5 Declaration: R1057/26 Texaco Westside, Model Farm Road, Bishopstown, Cork.

A Chara,

With reference to your request for a Section 5 Declaration at the above-named property, received on 30th of June, 2026.

The Question before the Planning Authority was as follows: "Are proposed replacement underground tanks at Texaco Westside, Model Farm Road, Cork development and if so, is it exempted development?"

In considering this referral the Planning Authority had regard to:

- (a) Sections 2, 3 and 4 (1) (h) of the Planning and Development Act 2000 (as amended),
- (b) Articles 6 and 9 of the Planning and Development Regulations 2001 (as amended),
- (c) Details/drawings submitted on 30.06.2026,
- (d) Planning history documentation and drawings.

The Planning Authority has concluded that –

- (a) the works constitute development which come within the scope of Section 3(1) of the Planning and Development Act 2000,
- (b) No intensification of usage would arise as a result of the replacement of the tanks,
- (c) The works would come within the provisions of Section 4(1)(h) of the Planning and Development Act 2000 (as amended) as they would consist of the carrying out of works for the maintenance/improvement of the existing petrol station and would not have any impact on the external appearance of the structure given their underground location so as to render it inconsistent with the character of the petrol station or of its neighbouring structures.



We are Cork.



Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Therefore, the Planning Authority in exercise of the powers conferred on it by Section 5(3)(a) of the 2000 Planning and Development Act (as amended), hereby decides that the replacement of underground fuel tanks and associated pipework with new underground fuel tanks and associated pipework;

- **IS DEVELOPMENT and IS EXEMPTED DEVELOPMENT.**

all at Texaco Westside, Model Farm Road, Cork

Is mise le meas,

Anthony Angelini

Anthony Angelini
Assistant Staff Officer
Planning & Integrated Development
Cork City Council



We are Cork.

Description: *Are proposed replacement underground tanks at Texaco Westside, Model Farm Road, Cork development and if so, is it exempted development?*

Applicant: Valero Energy (Ireland) Limited.

Location: Texaco Westside, Model Farm Road, Cork.

Received: 30.06.1982

1. PURPOSE OF REPORT

This report has been prepared in response to a request for a declaration under Section 5(1) of the Planning and Development Act 2000 (as amended) as to whether the proposed replacement of existing underground fuel storage tanks and associated pipework with new underground fuel storage tanks and associated pipework at the subject site constitutes development and, if so, whether such development is exempted development for the purposes of the Act.

2. DESCRIPTION OF SITE

The subject site comprises an existing petrol filling station located on Model Farm Road, with frontage and vehicular access situated between Rossa Avenue and Rossbrook. The site contains a customer parking area to the eastern side, while the underground fuel storage tanks are located to the west. A series of petrol pumps is positioned centrally within the site beneath a covered canopy structure. A convenience retail unit/shop is located at the southern end of the site. The site operates as an established roadside service facility serving passing traffic on the Model Farm Road corridor.

3. THE QUESTION

As per the Request for Declaration the question posed to the Planning Authority is as follows:

'Are proposed replacement underground tanks at Texaco Westside, Model Farm Road, Cork development and if so, is it exempted development?'

4. STATUTORY PROVISIONS

The exemption status of the subject works and use is appropriately assessed by the following interpretations and provisions:

- Section 2(1) of the Act:

"structure" means any building, structure, excavation, or other thing constructed or made on, in or under any land, or any part of a structure so defined, and –

(a) where the context so admits, includes the land on in or under which the structure is situate...’

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

- **Section 3(1),**

In this Act, except where the context otherwise requires, "development" means—

(a) the carrying out of any works in, on, over or under land, or the making of any material change in the use of any land or structures situated on land, or

(b) development within the meaning of Part XXI (inserted by section 171 of the Maritime Area Planning Act 2021).

- Section 4(1)(h) establishes that *‘The following shall be exempted developments for the purposes of this Act... development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures’;*
- Section 4(2) of the Act provides that the Minister may make regulations that provide for exempted development.
- Article 6(1) of the Planning and Development Regulations, (“the Regulations”) establishes that, subject to other specified conditions and limitations, classes of development specified in Schedule 2, Part 1 of the Regulations constitute exempted development.

Restrictions on exemption

- Article 9(1)(a) of the Planning and Development Regulations 2001 (as amended) outlines sever restrictions on exemptions including the following:

‘Development to which article 6 relates shall not be exempted development for the purposes of the Act if the carrying out of such development would -

(i) contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act..

(iii) endanger public safety by reason of traffic hazard or obstruction of road users..

(viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use.

5. PLANNING HISTORY

Subject Site

99/23730 - Demolition permission GRANTED for existing petrol station and construction of new petrol station dated 14/2/2000.

18/38027 - Permission is GRANTED for change of use, from permitted retail use to retail use including the sale of alcohol for consumption off the premises (i.e off-licence use), where the floor area for the off-licence use is 12 sq.m and is restricted within the overall unit and is ancillary to primary retail use.

Other Sites

R973/25 - A Section 5 request was made regarding the replacement of underground fuel tanks and associated pipework with new underground fuel tanks and associated pipework. A decision issued on 27.08.2025 states to the effect that the development was not 'exempted development' at Texaco, Bishopstown Road, Cork.

R1000/25 - A Section 5 request was made regarding the replacement of underground fuel tanks and associated pipework with new underground fuel tanks and associated pipework, also at Texaco, Bishopstown Road, Cork. Further Information was received on 22.01.2026 and the decision was issued that it is development and is exempted development on 12/02/2026.

6. RELEVANT REFERRAL DECISIONS FROM AN BORD PLEANALA:

RL2850 - The renovation of a service station that included the removal of 2 underground tanks of 20,000l and the installation of 2 underground tanks of 30,000l at Athy, Co. Kildare.

Decision: 'Is development and is exempted development'.

RL3069 - The removal of oil tanks to be replaced with larger or new fuel tanks at Marmullane, Pembroke, Passage West. Co. Cork.

Decision: 'Is development and is exempted development'.

The Board declared that the works would not result in a material alteration in the appearance of the site and would not raise new planning issues. As such it would be exempted development under section 4(1)(h).

RL3233 - The replacement of 4 no. underground fuel storage tanks (86,000 litres) with 4 no. underground fuel storage tanks (160,000 litres) at Chawke's Service Station, Castletroy, Co. Limerick.

Decision: 'Is development and is exempted development'.

RL3489 - The installation of 2 underground fuel storage tanks of 40,000 litres capacity each and decommissioning of an existing 28,000 litres tank at an existing filling station at Ballyraine, Letterkenny, County Donegal.

Decision: 'Is development and is not exempted development'.

In this case An Bord Pleanála concluded that the development could not be considered as being within the scope of section 4(1)(h) of the Planning and Development Act, 2000 as the new tanks were to be located in a different location to the tank which was being decommissioned and the existing tank was not being replaced but being left in situ, albeit that

it is being taken out of use, and could not, therefore, be considered as works for the maintenance, improvement or other alteration of a structure.

7. PLANNING ASSESSMENT

Assessment under Section 5(1) of the Act is a two-part process. Firstly, it must be determined whether the works in question constitute development. Secondly, it must be determined whether the works constitute exempted development or not.

1. I consider that the proposed works constitute development, having regard to:
 - the definition of development set out in Section 3(1) of the Act (which includes “the carrying out of any works...under land”)
 - the definition of “works” as set out in Section 2(1) of the Act (which includes any act of construction or excavation).
2. In terms of whether such development constitutes exempted development or not I make the following assessment:

In this case, the structure having regard to its definition outlined above is taken to mean the petrol station and its associated underground tanks.

It is stated that the existing development comprises five underground fuel storage tanks with a combined storage capacity of 140,000 litres. The proposed development involves the replacement of these tanks with five new underground tanks of the same combined storage capacity of 140,000 litres.

The existing tanks, associated pipework, and vent lines will be certifiably decommissioned, rendered gas-free, and removed from the site by a specialist contractor. The decommissioning works will be undertaken in accordance with relevant environmental and safety standards. The decommissioned tanks will subsequently be removed from the site by the main contractor, who shall provide a disposal certificate confirming their lawful disposal. The existing tank vent stack will also be certifiably decommissioned and removed by a specialist contractor.

The proposed installation includes 900 mm Fibrelite covers and frames with a minimum D400 load classification, to be installed 5–10 mm above the surrounding ground level. The concrete slab over the tanks is to extend a minimum of 300 mm beyond the outer extremities of the tanks in all directions.

It is noted that planning permission was granted under Planning Ref. 18/38027 for a change of use that included the sale of alcoholic beverages at the site. The drawings submitted as part of that application indicate that the underground fuel tanks were located in substantially the same position as those now proposed under the current Section 5 application. Furthermore, Planning Ref. 99/23730 granted permission for the replacement of the former garage with the existing Texaco service station, and the site layout drawings associated with that permission are consistent with the drawings submitted as part of the current Section 5 application. Please see of approved drawing below.

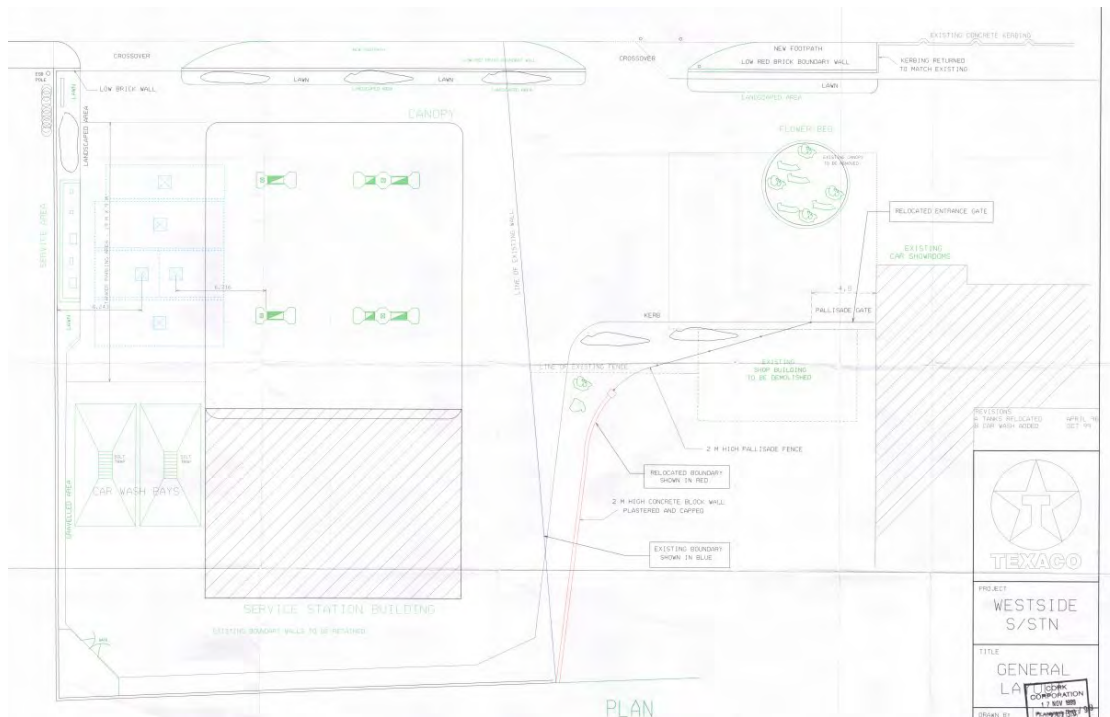


Fig. 1 - Planning Ref. 99/23730 – site plan

Having regard to the nature and scale of the proposal, the replacement of the existing tanks on a like-for-like basis, and the fact that the storage capacity is unchanged, it is not considered that the proposed development would result in a material intensification of use of the site. As such, the proposal is not considered to give rise to significant planning concerns in this regard.

Section 4(1)(h) of the Planning and Development Act 2000 (as amended) is noted in relation to the proposed works which appear to consist of works for the maintenance/improvement of the existing petrol station and would not have any impact on the external appearance of the structure. Given their location underground they would not materially affect the character of the petrol station *so as to render the appearance inconsistent with the character of the structure or of neighbouring structures*.

8. FURTHER ENVIRONMENTAL ASSESSMENT

Pursuant to article 103(1) of the Planning and Development Regulations 2001 as amended, having regard to the nature and scale of the proposed development and following a preliminary examination of, at the least, the nature, size or location of the proposed development, it is considered that there is no real likelihood of significant effects on the environment and it is consequently concluded that E.I.A. is not required.

9. CONCLUSION

In considering this referral the Planning Authority had regard to:

- (a) Sections 2, 3 and 4 (1) (h) of the Planning and Development Act 2000 (as amended),

- (b) Articles 6 and 9 of the Planning and Development Regulations 2001 (as amended),
- (c) Details/drawings submitted on 30.06.2026,
- (d) Planning history documentation and drawings.

The Planning Authority has concluded that –

- (a) the works constitute development which come within the scope of Section 3(1) of the Planning and Development Act 2000,
- (b) No intensification of usage would arise as a result of the replacement of the tanks,
- (c) The works would come within the provisions of Section 4(1)(h) of the Planning and Development Act 2000 (as amended) as they would consist of the carrying out of works for the maintenance/improvement of the existing petrol station and would not have any impact on the external appearance of the structure given their underground location so as to render it inconsistent with the character of the petrol station or of its neighbouring structures.

Therefore, the Planning Authority in exercise of the powers conferred on it by Section 5(3)(a) of the 2000 Planning and Development Act (as amended), hereby decides that the replacement of underground fuel tanks and associated pipework with new underground fuel tanks and associated pipework;

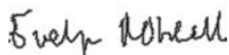
- is development and is exempted development.

all at Texaco Westside, Model Farm Road, Cork



Sarah Carroll,
Graduate Planner
27.07.2026

I concur with the above assessment and recommendation.



Evelyn Mitchell,
Senior Executive Planner
27.07.2026

Cork City Council
County Hall,
Anglesea Street,
Cork,
Ireland



25th June 2026.

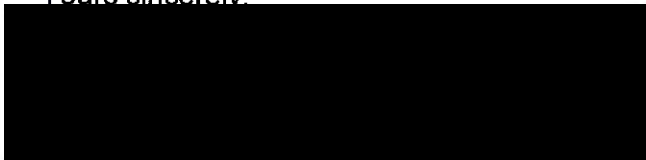
To whom it may concern,

Please find enclosed a Section 5 declaration application regarding the removal and refitting of the fuel tanks at the service station Texaco Westside on Model Farm Road, Bishopstown, Cork.

Please find enclosed cheque in the amount of €80 to cover the application fee.

We trust this application will receive your favourable consideration.

Yours sincerely,



Regina McLoughlin

On behalf of
J.A. Gorman Consulting Engineers Ltd

COMHAIRLE CATHRACH CHORCAÍ
CORK CITY COUNCIL

Community, Culture & Placemaking Directorate,
Cork City Council, City Hall, Anglesea Street, Cork.

R-Phost/E-Mail planning@corkcity.ie

Fón/Tel: 021-4924029

Líonra/Web: www.corkcity.ie

SECTION 5 DECLARATION APPLICATION FORM
under Section 5 of the Planning & Development Acts 2000 (as amended)

1. NAME OF PERSON MAKING THE REQUEST

Valero Energy Ireland

2. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT

Texaco Westside, Model Farm Road, Bishopstown, Cork

3. QUESTION/ DECLARATION DETAILS

PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:

Sample Question: Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?

Note: only works listed and described under this section will be assessed under the section 5 declaration.

Are proposed replacement underground tanks at Texaco Westside, Model Farm Rd, Cork development and if so, is it exempted development?

ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:
(Use additional sheets if required).



4. Are you aware of any enforcement proceedings connected to this site?

If so please supply details:

N/A

5. Is this a Protected Structure or within the curtilage of a Protected Structure? ☐ No

If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority? ☐

6. Was there previous relevant planning application/s on this site? ☐

If so please supply details:

7. APPLICATION DETAILS

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M) N/A

(a) Floor area of existing/proposed structure/s		N/A
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 st October, 1964, (including those for which planning permission has been obtained)?		Yes ☐ No ☐ If yes, please provide floor areas. (sq m)
(c) If concerning a change of use of land and / or building(s), please state the following:		
Existing/ previous use (please circle)	Proposed/existing use (please circle)	

7. LEGAL INTEREST

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner ☒	B. Other ☐
Where legal interest is 'Other', please state your interest in the land/structure in question		
If you are not the legal owner, please state the name of the owner if available		

8. I / We confirm that the information provided is true and accurate:

Signature: _____

Date: _____

CONFIDENTIAL CONTACT DETAILS

These details will not be made available to the public.

9. Applicant:

10. Person/Agent acting on behalf of the Applicant (if any):

Should all correspondence be sent to the above address?

(Please note that if the answer is 'No', all correspondence will be sent to the Applicant's address)

Yes

☒

No

☐

11. Owner Details (if the applicant above is not the legal owner):

Name(s)	
Address	

12. ADDITIONAL CONTACT DETAILS

The provision of additional contact information such as email addresses or phone numbers is voluntary and will only be used by the Planning Authority to contact you should it be deemed necessary for the purposes of administering the application.

Tel. No.

Mobile No.

Email Address:

For Office Use Only:

File Ref. No. _____

ADVISORY NOTES:

The application must be accompanied by the required fee of €80. Payment may be made at the Cork City Council cash desk, by cheque, by telephone with a credit/debit card, or by electronic fund transfer.

The application should be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.

Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.

The application should be sent to the following address:

**The Development Management Section, Community, Culture & Placemaking
Directorate, Cork City Council, City Hall, Anglesea Street, Cork.**

Please email planning@corkcity.ie with any queries.

- The Planning Authority may request other person(s) other than the applicant to submit information on the question which has arisen and on which the declaration is sought.
- Any person issued with a declaration may on payment to An Bord Pleanála refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.
- In the event that no declaration is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a declaration was due to be issued by the Planning Authority.

The application form and advisory notes are non-statutory documents prepared by Cork City Council for the purpose of advising as to the type information is normally required to enable the Planning Authority to issue a declaration under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations 2001 as amended.

DATA PROTECTION

"Cork City Council is committed to fulfilling its obligations imposed by the Data Protection Acts 1988 to 2018 and the GDPR. Our privacy statement and data protections policy is available at <https://www.corkcity.ie/en/council-services/public-info/odpr/>

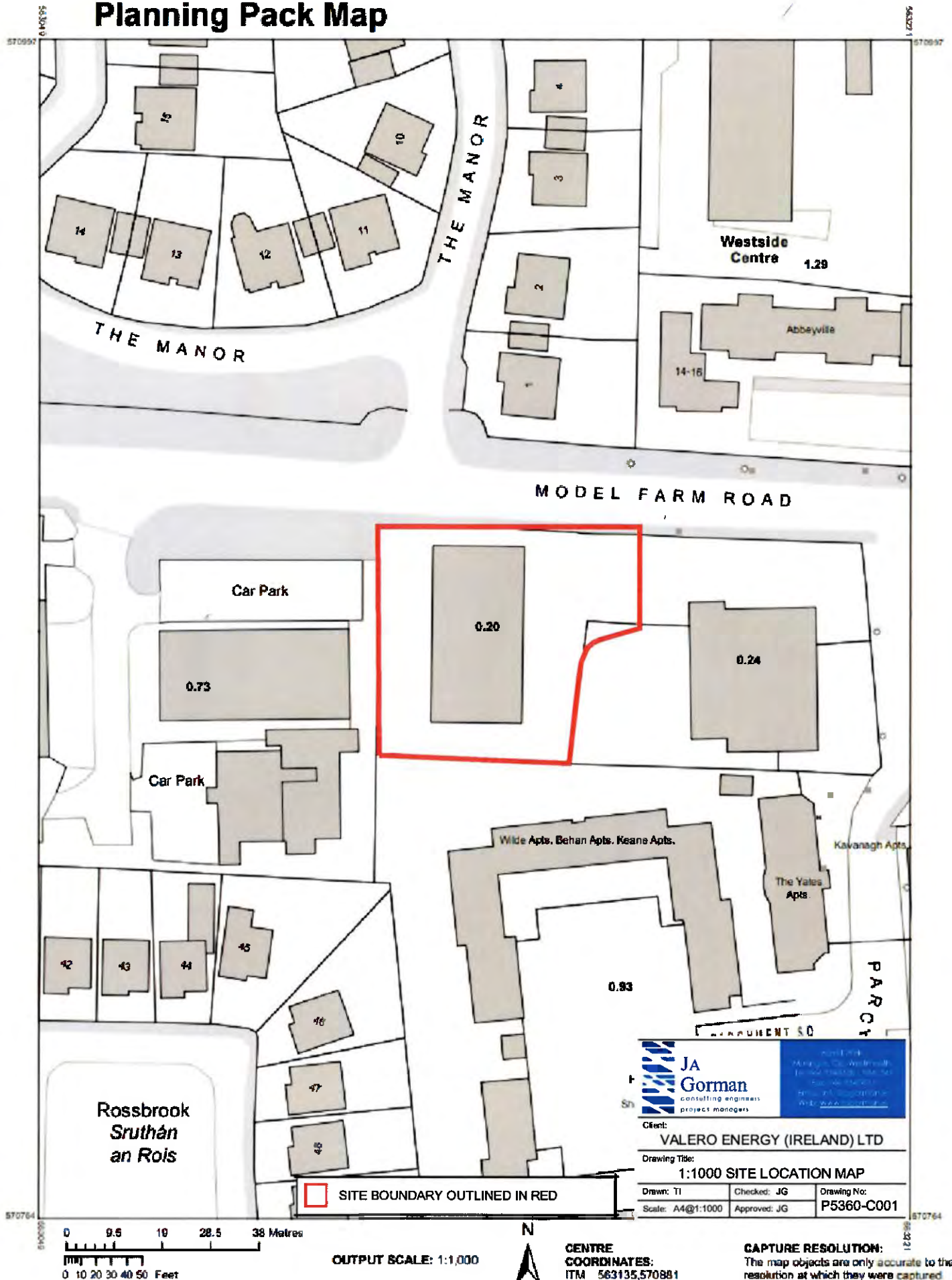
We request that you read these as they contain important information about how we process personal data.

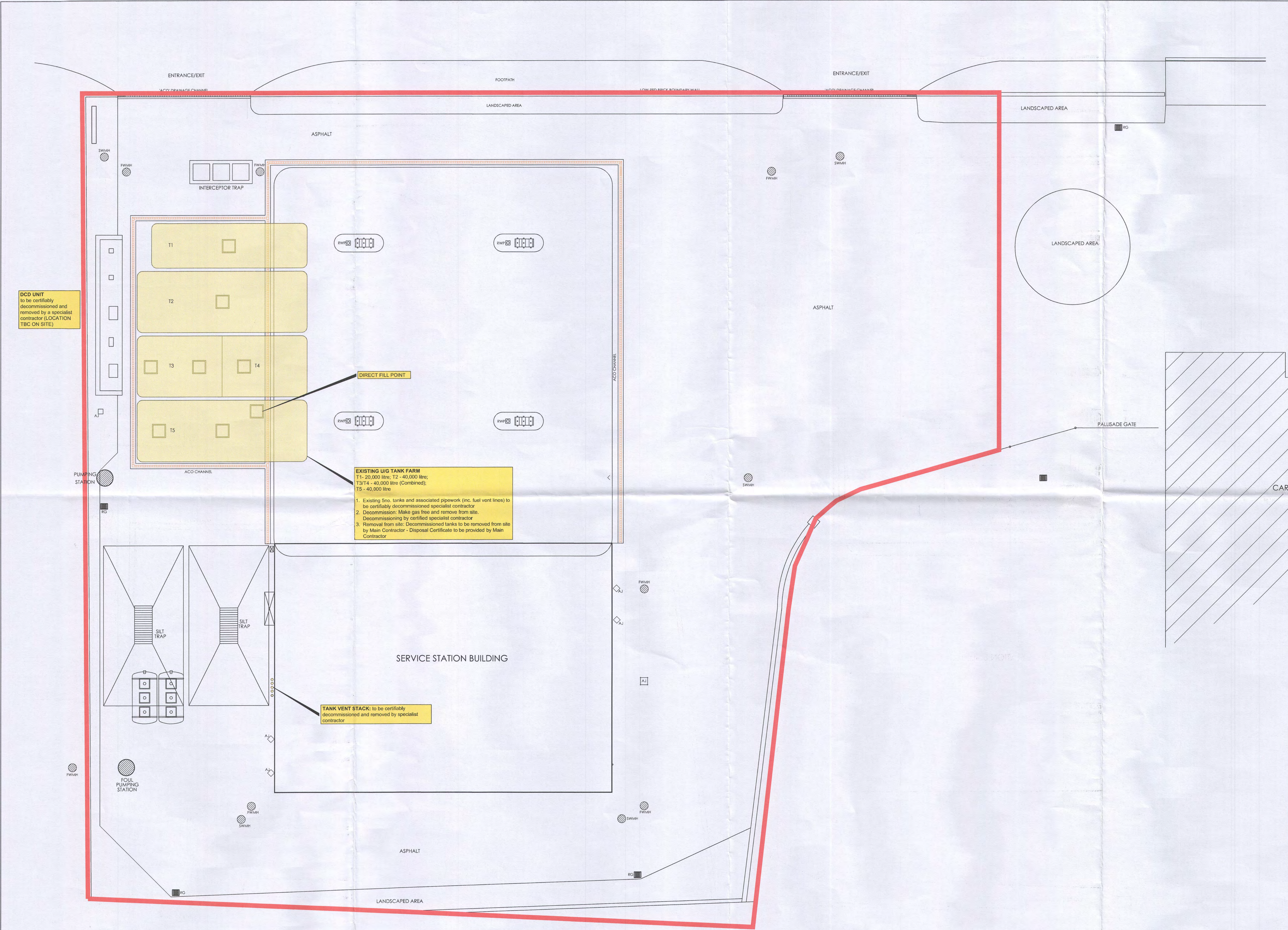
1. Plan, drawings and maps accompanying an application for a Section 5 Declaration on exempted development shall all be in metric scale and comply with the following requirements:-

* NOTE 2 COPIES OF PLANS AND PARTICULARS ARE REQUIRED

- (a) site or layout plans shall be drawn to a scale of not less than 1:500 (which shall be indicated thereon), the site boundary shall be clearly delineated in red, and buildings, roads, boundaries, septic tanks and percolation areas, bored wells, significant tree stands and other features on, adjoining or in the vicinity of the land or structure to which the application relates shall be shown, land which adjoins, abuts or is adjacent to the land to be developed and which is under the control of the applicant or the person who owns the land, which is subject of the application, shall be outlined in blue and wayleaves shall be shown in yellow,
 - (b) other plans, elevations and sections shall be drawn to a scale of not less than 1:200 (which shall be indicated thereon), or such scale as may be agreed with the Planning Authority prior to the submission of the application in any particular case,
 - (c) the site layout plan and other plans shall show the level or contours, where applicable, of any land and the proposed structures relative to Ordnance survey datum or a temporary local benchmark,
 - (d) drawings of elevations of any proposed structure shall show the main features of any buildings which would be contiguous to the proposed structure if it were erected, whether on the application site or in the vicinity at a scale of not less than 1:200, as may be appropriate,
 - (e) plans relating to works comprising reconstruction, alteration or extension of a structure shall be so marked or coloured as to distinguish between the existing structure and the works proposed,
 - (f) plans and drawings of floor plans, elevations and sections shall indicate in figures the principal dimensions (including overall height) of any proposed structure and the site, and site layout plans shall indicate the distances of any such structure from the boundaries of the site,
 - (g) any map or plan which is based on an Ordnance Survey map shall indicate the relevant Ordnance survey sheet number,
 - (h) the north point shall be indicated on all maps and plans other than drawings of elevations and sections,
 - (i) plans and drawings shall indicate the name and address of the person by whom they were prepared.
2. An application for development consisting of or comprising the carrying out of works to a protected structure, or proposed protected structure or to the exterior of a structure which is located within an architectural conservation area in a draft of a proposed development plan or a proposed variation of a development plan, shall, in addition to meeting the requirements above, be accompanied by such photographs, plans and other particulars as are necessary to show how the development would affect the character of the structure.
 3. A planning authority may, by notice in writing, require an applicant to provide additional copies of any plan, drawing, map, photograph or other particular, which accompanies the application.

Planning Pack Map





DCD UNIT
to be certifiedly
decommissioned and
removed by a specialist
contractor (LOCATION
TBC ON SITE)

EXISTING U/O TANK FARM
T1 - 20,000 litre; T2 - 40,000 litre;
T3/T4 - 40,000 litre (Combined);
T5 - 40,000 litre

1. Existing 5no. tanks and associated pipework (inc. fuel vent lines) to be certifiedly decommissioned specialist contractor

2. Decommission: Make gas free and remove from site. Decommissioning by certified specialist contractor

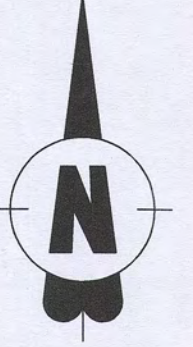
3. Removal from site: Decommissioned tanks to be removed from site by Main Contractor - Disposal Certificate to be provided by Main Contractor

TANK VENT STACK: to be certifiedly
decommissioned and removed by specialist
contractor

GENERAL NOTES:

- WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALED DIMENSIONS
- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE
- ANY DISCREPANCIES FOUND ON THIS DRAWING SHOULD BE IMMEDIATELY REPORTED TO THE ENGINEERS
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ENGINEERS DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS
- ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT HEALTH AND SAFETY LEGISLATION
- SPECIFICATION OF THE WORKS TO BE TO THE APPROPRIATE IRISH STANDARD OF THE EQUIVALENT BRITISH STANDARD

NORTH ARROW:



Rev	Drawn	Chkd	Appd	Description	Date
-	T1	JS	JS	SECTION 5	06.06.26

SECTION 5



JA Gorman
consulting engineers
project managers

Forest Park,
Mullingar, Co. Westmeath.
Tel: 044-9347338 / 9347341
Fax: 044-9347400
Email: info@jagorman.ie
Web: www.jagorman.ie

CLIENT:
VALERO ENERGY (IRELAND) LTD

PROJECT TITLE:
**PROPOSED UNDERGROUND TANK
REPLACEMENT AT TEXCO
WESTSIDE, MODEL FARM RD, CORK**

DRAWING TITLE:
**EXISTING SITE PLAN &
DECOMMISSIONING WORKS**

PLOT SIZE: A1	PLOT SCALE: 1:100	DRAWN BY: T1
PROJECT No: 5360	DRAWING No: P5360-C002	REV: -

900mmØ Fibrelite (or similar approved) cover and frame; **Strength classification D400**; raised 5-10mm above surrounding ground level

Concrete slab over tanks to extend min. 300mm past extremities of tanks in all directions

250mm thk. reinforced concrete (Grade 25) slab over tanks with m.s. fabric mesh reinforcement to B.S. 4483 Ref. A393 Top & Bottom (50mm cover) min. 450mm laps on 1200 gauge polythene separation layer on 50mm sand blinding

Pea gravel surround / backfill to tanks as indicated

Sump base chamber fixed to tank containment chamber

Tank containment chamber (by tank manufacturer)

NOTES:

1) All underground storage tanks c/w pipework must be tested by pipework contractor. Testing to be independently witnessed by the Fire Officer.
2) Backfilling around tanks must not commence until testing and certification are complete.

3) The contractors attention is drawn to the Dangerous Substances (Retail & Private Petroleum) Regulations 1979, which must be strictly adhered to in all respects
4) Sump manhole vacuum test certificates to be provided by the fuel contractor at handover

Tanks to be strapped down with an approved strapping system in accordance with tank manufacturers instructions. Straps to be installed by main contractor (supply by others)

300mm thk. reinforced concrete (Grade 30) base to tanks with 1no. layer m.s. fabric mesh reinforcement to B.S. 4483 Ref. A393 (50mm cover) on well 50mm lean mix concrete blinding

U/S OF SLAB = TBCmm

TOP OF SLAB = TBCm
(TO BE AGREED WITH
PIPEWORK CONTRACTOR)

1.4mØ GRP chamber (refer to specification) with sealed corbel and adjustable skirt supplied and fitted by pipework contractor

Depth to pipework ~ minimum 1000mm (to be agreed / confirmed with pipework contractor)

Depth to tank ~ minimum 1250mm (to be agreed / confirmed with pipework contractor)

Concrete slab over tanks to extend min. 300mm past extremities of tanks in all directions

AVG. MANLID LEVEL TBCm

Min 300mm

Verify elevation of smaller storage tank relative to adjacent tanks.

TOP OF SLAB = TBCm

U/S OF SLAB = TBCmm

Depth to u/s slab to be agreed / confirmed with pipework contractor

Typical Cross Section Underground Tank Farm (Retail Forecourt)

SCALE: Not to Scale



TYPICAL DETAIL ~ UNDERGROUND TANK FARM

SCALE: Not to Scale

Concrete slab over tanks to extend min. 300mm past extremities of tanks in all directions

Reinforced concrete slab to extent shown over underground tanks

Pea gravel surround / backfill to tanks

Lifting lug

Approved restraining straps (supplied by others) fixed and fitted by main contractor in accordance with tank manufacturers instructions

Tanks to be set on 50mm thk layer of sand blinding (typical)

Reinforced concrete base slab on blinding

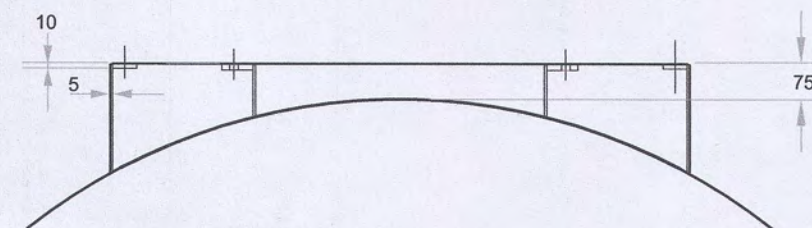
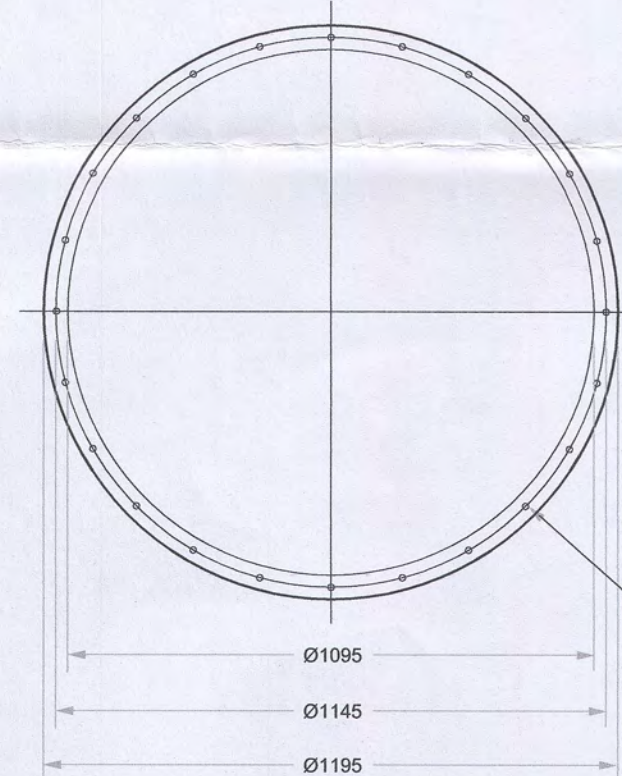
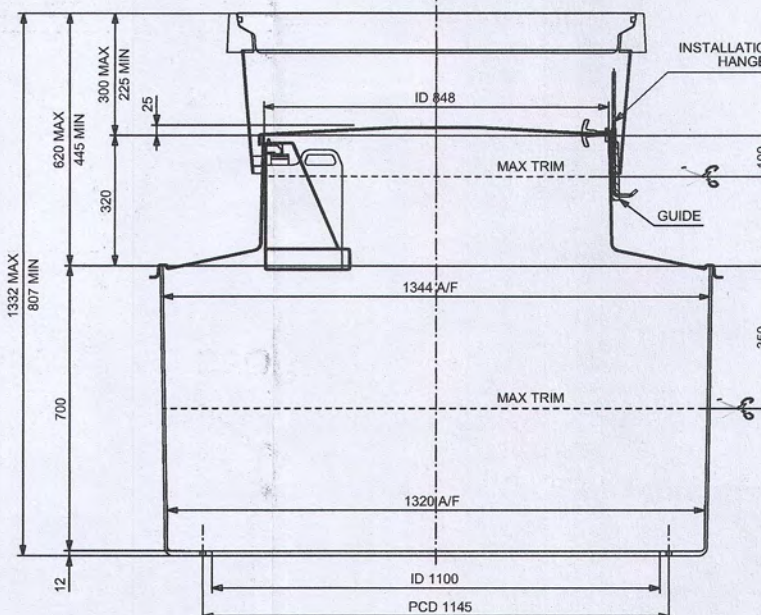
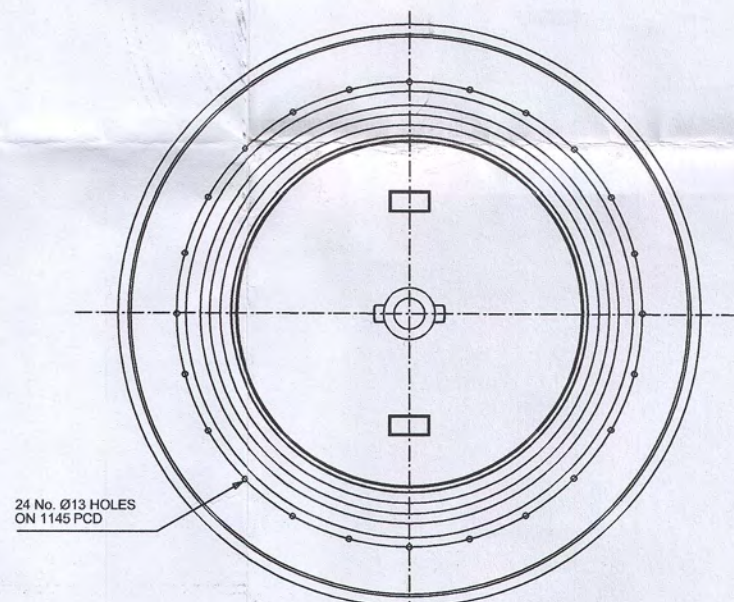
Concrete slab over tanks to extend min. 300mm past extremities of tanks in all directions

OVERALL TANK LENGTH

TANK Ø
to be agreed with pipework contractor

Typical Longitudinal Section

SCALE: Not to Scale



Category: HEIGHT ADJUSTABLE ROUND CHAMBER SYSTEMS

Product: 1.4m diameter bolted base chamber, with a corbel, adjustable height skirt, 900mm dia. water light flat sealed cover and frame.
Description:

Page No: Product Code: S14-390 Date: July 2014

For reference purposes only. This drawing is not a specification. Order against product code only.
To enable continuous improvement of our products, the designs and specifications are subject to change without notice.
© COPYRIGHT

Category: TANK CONNECTION SYSTEMS

Product: Upstand for S14 Chamber
Description:

Drawing No: 30044 Product Code: na Date: April 2004 Revisions: 0

GENERAL NOTES:

- WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALED DIMENSIONS
- ALL DIMENSIONS ARE IN METRES UNLESS NOTED OTHERWISE
- ANY DISCREPANCIES FOUND ON THIS DRAWING SHOULD BE IMMEDIATELY REPORTED TO THE ENGINEERS
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ENGINEERS DRAWINGS, SPECIFICATIONS AND CONTRACT DOCUMENTS
- ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT HEALTH AND SAFETY LEGISLATION
- SPECIFICATION OF THE WORKS TO BE TO THE APPROPRIATE IRISH STANDARD OF THE EQUIVALENT BRITISH STANDARD

Rev	Drawn	Chkd	Appd	Description	Date
-	TI	JG	JG	SECTION 5	06.06.26

SECTION 5

	Forest Park, Mullingar, Co. Westmeath. Tel: 044-9347338 / 9347341 Fax: 044-9347400 Email: info@jagorman.ie Web: www.jagorman.ie
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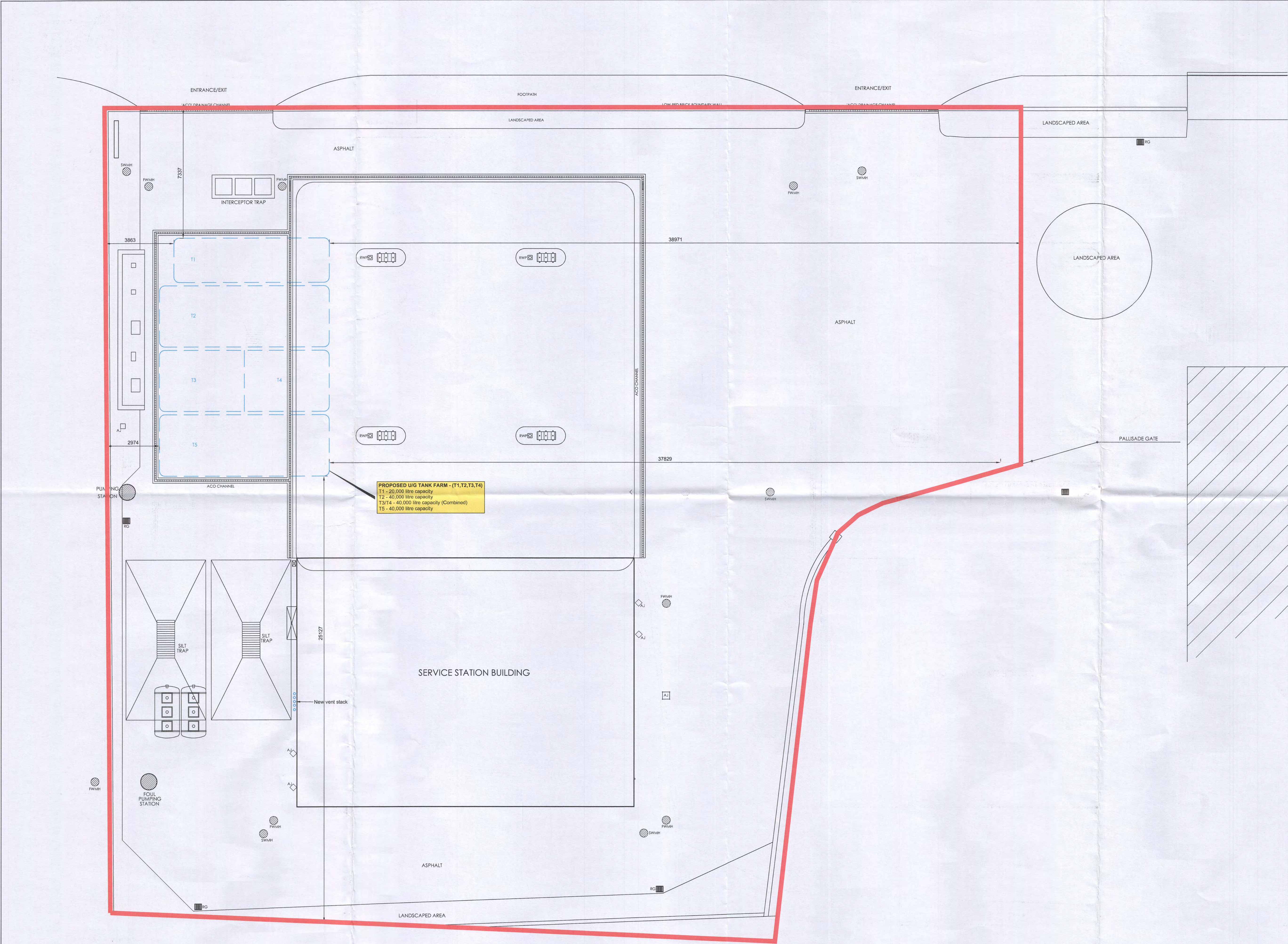
CLIENT:
VALERO ENERGY (IRELAND) LTD

PROJECT TITLE:
**PROPOSED UNDERGROUND TANK
REPLACEMENT AT TEXCO
WESTSIDE, MODEL FARM RD, CORK**

DRAWING TITLE:
**DETAIL SHEET
UNDERGROUND TANK FARM**

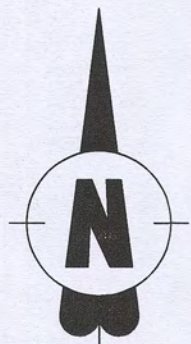
PLOT SIZE: A1	PLOT SCALE: N.T.S.	DRAWN BY: TI
PROJECT No: 5360	DRAWING No: P5360-C004	REV: -

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NORTH ARROW:



-	T1	JG	JG	SECTION 5	06.08.26
Rev	Drawn	Chkd	Appd	Description	Date

SECTION 5



Forest Park,
Mullingar, Co. Westmeath,
Tel: 044-9347338 / 9347341
Fax: 044-9347400
Email: info@jagorman.ie
Web: www.jagorman.ie

CLIENT:
VALERO ENERGY (IRELAND) LTD

PROJECT TITLE:
PROPOSED UNDERGROUND TANK REPLACEMENT AT TEXCO WESTSIDE, MODEL FARM RD, CORK

DRAWING TITLE:
PROPOSED SITE PLAN & GENERAL ARRANGEMENT

PLOT SIZE: A1	PLOT SCALE: 1:100	DRAWN BY: TI
PROJECT No: 5360	DRAWING No: P5360-C003	REV: -