

# Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Crothur Lucey  
Elm Vale,  
Poulavone,  
Carrigrohane  
Ballincollig  
Cork

24<sup>th</sup> November 2020

**RE: Section 5 Declaration R598/20  
Elm Vale, Poulavone, Carrigrohane, Ballincollig,  
Co. Cork**

Dear Sir/Madam,

With reference to your request for a section 5 Declaration at the above named property, I wish to advise :-

In considering this referral the Planning Authority had regard to the planning history on site and the lack of evidence of a planning permission for the side (and rear) extension to the property and the possible remodelling of its front elevation. It has also had regard to:

- (a) Sections 2, 3 and 4 of the Planning and Development Act 2000;
- (b) Articles 6 and 9(viii) of the Planning and Development Regulations 2001;
- (c) Class 7 of Part 1 of Schedule 2 to the Planning and Development Regulations 2001 and
- (d) Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 1967;
- (e) Section 4 (1) (h) of the Planning and Development Act 2000 (as amended)

The Planning Authority has concluded that as no planning permission appears to exist for the extensions/remodelling of the original property, as such the structure is considered to be an unauthorised structure to which exemptions do not apply.

Therefore, the Planning Authority decides that the works proposed at 'Elmvale', Poulavone, Carrigrohane, Ballincollig, Cork as described in the application are development and are not exempted development.

Kind Regards,

Kerry Bergin  
*Assistant Staff Officer  
Development Management Section  
Community, Culture and Placemaking Directorate  
Cork City Council*



**We are Cork.**

Application type      **SECTION 5 DECLARATION**  
Question              *Whether*

- *Replacement of single glazed window units with new double glazed units;*
- *Replacement of front porch canopy with new canopy (floor size less than 2m);*
- *Replacement of front door;*
- *Replacement of garage door;*
- *Replacement of roof slates with new black slates;*
- *Replacement of all first floor cladding boards with new timber boards at @Elm Vale, Poulavone, Carrigrohane, Ballincollig*

Location              *Is or is not development and if so whether it is exempted development.*  
Applicant              *Elmvale Poulavone, Carrigrohane, Cork.*  
                                 *Crothur Lucey*

### 1. REQUEST FOR FURTHER INFORMATION

This report should be read in conjunction with my previous report (dated 12.20.2020) which recommended that Further Information be sought. A request for Further Information was made in respect of this application on 14.10.2020 as per the following:

*'1. Please be advised that the Planning Authority is not aware of any planning permission/application existing for the existing dwelling or changes that may have been made to an original dwelling i.e. its elevational treatment/porch and side extension and there is a question therefore as to whether the existing structure is an authorised structure to which exemptions can apply. Please clarify whether you are aware of any such permission or of the date of construction of the original house or where alterations were made subsequent to the construction of the original house - the date of the construction of such alterations.*

*2. Please clarify whether it is intended to carry out the development permitted under 18/5576 noting revised drawings attached to that application and Conditions 1 and 2 of that permission and that a grant of permission must be implemented in its entirety.*

*3. Please confirm the distance between the porch roof and the front boundary of the site.*

*4. Please clarify the colour of the original timber board (weathered or painted) and the proposed timber board.*

*5. Please confirm the colour and material of the existing roof slates/tiles and materials of proposed roof slates.'*

### **FURTHER ENVIRONMENTAL ASSESSMENT**

Pursuant to article 103(1) of the Planning and Development Regulations 2001 as amended, having regard to the nature and scale of the proposed development and following a preliminary examination of, at the least, the nature, size or location of the proposed development, it is considered that there is no real likelihood of significant effects on the environment and it is consequently concluded that E.I.A. is not required.

It is not considered that the response to the F.I. gives rise to a significant change or modification to the proposed development so that it would now have a significant impact on a European Site, or that it would require environmental impact assessment. Consequently, it is considered that appropriate assessment and environment impact assessment are not required.

### **FURTHER PLANNING ASSESSMENT**

The applicant responded to the F.I. request on 19.11.2020.

In relation to Item 1 it is stated that the original dwelling was in place before 1964 (Cassini 6 inch map submitted pre 1930) and that the side extension was completed in 1971. Photocopies of a grant for the work has been submitted (stated to be from ‘Department of Housing’ which appears to refer to the side flat roof extension. On this it is stated that ‘*all planning and work to comply with Depts and local requirements.*’ No details/record of a planning application/permission has been provided.

I cannot however locate a planning application on the planning register for the side extension. It is also not clear as to whether the rear two storey extension was part of the original house or if not at what stage this was constructed – pre or post 1963. note the planning regulations in place at the time were the 1967 Regulations which outlined an exemption for a rear extension of 120 sq. ft or in the case of a 2 storey house of 90 sq.m. on each floor (i.e. 180 sq.ft.). The applicant in response to a Further Information request on planning application Ref: 18/5576 describes the rear element as an extension to the pre-existing dwelling. The drawings attached to that file give an internal floor area of the existing rear two storey element of 50.32 sq.m. or 541 sq.ft. When compared with the Cassini map the rear element seems to be of a different shape/location and the attached photograph taken on-site appears to show that a smaller back porch may have existed to the rear which was then enlarged.

Given the age of the property it is likely that the property was a farmhouse traditional dwelling – and that the front elevation that was remodelled during the 1960s/1970s. Again, no evidence of planning permission for any elevational changes is available – a historical photo of the house has been submitted but is undated.

It would appear therefore that the structure as it currently exists is therefore unauthorised in which case the proposed works, being works to an unauthorised premises, would not be able to avail of exemptions having regard to exclusions under Article 9(viii) of the Regulations.

Notwithstanding the above the submissions in relation to Items 2 to 5 is hereunder assessed:

In relation to Item 2 the applicant advises it is not intended to proceed with planning permission 18/5576 at this time.

In relation to Item 3 the distance is stated to be between 4.45m -4.7m. which is within the limitations of Class 7 of the current exempted Development Regulations (see also my original report in this regard).

In relation to Item 4 it is stated that the original timber was stained black – the un-weathered and weathered finish of the proposed replacement timber have been submitted – therefore the replacement timber is considered to fall under the scope of Section 4(1)h of the Planning and Development Act 2000 as amended: i.e. *‘development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;’*

In relation to Item 5 it is stated that the roof has a fibre cement slate with replacement slates to be of same material blue-grey in colour to match the existing.

### **CONCLUSION**

In considering this referral the Planning Authority had regard to the planning history on site and the lack of evidence of a planning permission for the side (and rear) extension to the property and the possible remodelling of its front elevation. It has also had regard to:

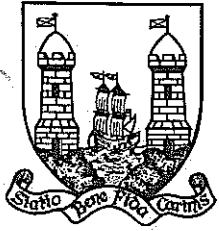
- (a) Sections 2, 3 and 4 of the Planning and Development Act 2000;
- (b) Articles 6 and 9(viii) of the Planning and Development Regulations 2001;
- (c) Class 7 of Part 1 of Schedule 2 to the Planning and Development Regulations 2001 and
- (d) Class 1 of Part 1 of Schedule 2 of the Planning and Development Regulations 1967;
- (e) Section 4 (1) (h) of the Planning and Development Act 2000 (as amended)

The Planning Authority has concluded that as no planning permission appears to exist for the extensions/remodelling of the original property, as such the structure is considered to be an unauthorised structure to which exemptions do not apply.

Therefore, the Planning Authority decides that the works proposed at ‘Elmvale’, Poulavone, Carrigrohane, Ballincollig, Cork as described in the application are development and are not exempted development.

---

Evelyn Mitchell,  
Senior Executive Planner,  
16.11.2020



# Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Crothur Lucy  
ElmVale  
Poulavone  
Carrigrohane  
Ballincollig  
Cork

14/10/2020

RE: Section 5 Declaration R598/20 ElmVale, Poulavone,  
Carrigrohane, Ballincollig, Cork

A Chara,

With reference to your request for a Section 5 Declaration at the above named property, I wish to advise as follows:

It is considered that the Planning Authority does not have sufficient information to make a recommendation in this instance and that Further Information is required.

1. Please be advised that the Planning Authority is not aware of any planning permission/application existing for the existing dwelling or changes that may have been made to an original dwelling i.e. its elevational treatment/porch and side extension and there is a question therefore as to whether the existing structure is an authorised structure to which exemptions can apply. Please clarify whether you are aware of any such permission or of the date of construction of the original house or where alterations were made subsequent to the construction of the original house - the date of the construction of such alterations.
2. Please clarify whether it is intended to carry out the development permitted under 18/5576 noting revised drawings attached to that application and Conditions 1 and 2 of that permission and that a grant of permission must be implemented in its entirety.
3. Please confirm the distance between the porch roof and the front boundary of the site.



We are Cork.

4. Please clarify the colour of the original timber board (weathered or painted) and the proposed timber board.

5. Please confirm the colour and material of the existing roof slates/tiles and materials of proposed roof slates.

Is misa le meas,



**Kerry Bergin**  
**Community, Culture and Placemaking Directorate**  
**Cork City Council**



PLANNER'S REPORT  
Ref. R 598/20

Cork City Council  
Development  
Management  
Strategic Planning  
and Economic  
Development

Application type      **SECTION 5 DECLARATION**  
Question              *Whether  
development and if so whether they are exempted development.*  
Location              *Elmvale Poulavone, Carrigrohane, Cork.*  
Applicant             Crothur Lucey

### 1. REQUIREMENTS FOR A SECTION 5 DECLARATION APPLICATION

Section 5(1) of the Planning and Development Act 2000 as amended states:

*5.—(1) If any question arises as to what, in any particular case, is or is not development or is or is not exempted development within the meaning of this Act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question, and that person shall provide to the planning authority any information necessary to enable the authority to make its decision on the matter.*

The requirements for making a section 5 declaration are set out in the Act.

### 1. THE QUESTION BEFORE THE PLANNING AUTHORITY

The question to the Planning Authority is reworded as follows: *Whether the:*

- *Replacement of single glazed window units with new double glazed units;*
- *Replacement of front porch canopy with new canopy (floor size less than 2m);*
- *Replacement of front door;*
- *Replacement of garage door;*
- *Replacement of roof slates with new black slates;*
- *Replacement of all first floor cladding boards with new timber boards at @Elm Vale, Poulavone, Carrigrohane, Ballincollig*

*is development and if so is or is not exempted development.'*

### 2. SITE DESCRIPTION

The subject property comprises a two storey detached dwelling house located on the main entrance road into Ballincollig village – its elevations are dated and in poor condition.

### 3. PLANNING HISTORY

2178/73: Permission refused for the development of petrol pumps or a shop on the grounds of traffic hazard. The application stated it was intended to retain the house. No elevations were included with the application.

18/5576: Permission initially sought for the demolition of the house and construction of 2 detached houses on site. Permission subsequently granted for the refurbishment and extension and alteration of the existing house on site.

#### **4. CURRENT LEGISLATIVE PROVISIONS**

##### **4.1 Planning and Development Act, 2000 as amended**

*Section 2(1),*

*“exempted development” has the meaning specified in section 4.*

*“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.*

*Section 3(1),*

*In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.*

*Section 4(1)(h),*

*4.(1) The following shall be exempted developments for the purposes of this Act—*

*...*

*(h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*

*Section 4(2),*

Section 4(2) provides that the Minister may, by regulations, provide for any class of development to be exempted development. The principal regulations made under this provision are the Planning and Development Regulations 2001, as amended.

*Section 4(3),*

*A reference in this Act to exempted development shall be construed as a reference to development which is—*

*(a) any of the developments specified in subsection (1), or*

*(b) development which, having regard to any regulations under subsection (2), is exempted development for the purposes of this Act.*

##### **4.2 Planning and Development Regulations, 2001 as amended**

*Article 6(1),*

*Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.*

*Article 9,*

Article 9 sets out restrictions on exemptions specified under article 6. Article 9(1) of the Regulations sets out circumstances in which development to which Article 6 relates shall not be exempted development, including (a) if the carrying out of such development would:-

*(i) “Contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act”...*



(viii) 'consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,'

Classes 1-8 of Part 1 of schedule 2 relate to development within the curtilage of a house.

Class 3 relates to the construction of an awning however there is a restriction on this that it cannot be forward of the front wall of the house.

Class 7 relates to 'the construction or erection of a porch outside any external door of a house':

*Schedule 2, Part 1, Class 1*

*Exempted Development – General*

<i>Column 1 Description of Development</i>	<i>Column 2 Conditions and Limitations</i>
<i>Development within the curtilage of a house</i>	1. Any such structure shall be situated not less than 2 metres from any road.
<b>CLASS 7</b> The construction or erection of a porch outside any external door of a house.	2. The floor area of any such structure shall not exceed 2 square metres.  3. The height of any such structure shall not exceed, in the case of a structure with a tiled or slated pitched roof, 4 metres or, in any other case, 3 metres.

**5. ASSESSMENT**

The following works are proposed:

- Replacement of single glazed window units with new double glazed units;
- Replacement of front porch canopy with new canopy (floor size less than 2m);
- Replacement of front door;
- Replacement of garage door;
- Replacement of roof slates with new black slates;
- Replacement of all first floor cladding boards with new timber boards.

**5.1 Development**

The first issue for consideration is whether or not the matter at hand is 'development', which is defined in the Act as comprising two chief components: 'works' and / or 'any material change in the use of any structures or other land'. 'Works' are defined in section 3(1) of the Act as including 'any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal'. As the proposal comprises 'works', it is clearly therefore 'development' within the meaning of the Act.

**CONCLUSION – is development**

**5.2 Exempted development**

The next issue for consideration is whether or not the matter at hand is exempted development. Section 2(1) of the Act defines 'exempted development' as having 'the meaning specified in section 4' of the Act (which relates to exempted development).

Section 4(3) of the Act states that exempted development either means development specified in section 4(1) or development which is exempted development having regard to any regulations under section 4(2). In my opinion the proposed extension does not come within the scope of section 4(1). The proposed extension comes under the scope of section 4(2) (i.e. exemptions specified in the Regulations), having regard to the use of the word 'or' in section 4(3).

It is not clear as to whether the applicant intends to implement the permission granted under 18/5576. This application initially proposed the demolition of the existing house and its replacement with 2 detached units however following a request for Further Information a proposal to refurbish the house was proposed along with single and two storey extensions and this was granted permission. Changes to the front elevation (plastering of same) were proposed (and granted) under this application. Conditions 1 and 3 are as follows:

1	The development shall be carried out in accordance with the plans and particulars lodged with the application as amended by the documents/drawings received by the Planning Authority on the 19/09/2018 and 25/10/2018 except as may otherwise be required in order to comply with the conditions herein.	In the interests of clarity.
2	Planning permission shall be permitted for the retention of the existing dwelling, demolition of parts of same and proposed single and two storey extensions to the rear and side of same as per details submitted on 25/10/2018. This permission also includes the change of use of garage to habitable space, retention of existing vehicular entrance, and all proposed drainage, boundaries, landscaping parking and associated works.	To clarify the nature of the development permitted.

The applicant could not 'pick and choose' between various elements of the permission and this current proposal therefore clarification in this regard is required.

I note that should the applicant decide in the future to implement this permission then he would have to carry out the permitted elevation changes in accordance with Condition 1 of that grant of permission. Clarification of this issue should be sought.

Generally speaking the alterations to the windows and doors (replacement with hardwood doors and grey double framed windows) and replacement slates could be considered to be works which come under the scope of Section 4(1) (h) of the Planning Act 2000 as amended i.e.

*'development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*

The replacement of the timber cladding could be construed as similar work provided it matched the original – it is stated they are to be larch boards to match the replaced cladding boards – clarification as to the colour of same is required.

The porch works appear to come under the scope of Class 7 of Part 1 of Schedule 2 the Planning and Development Regulations, 2001 as amended being less than 2m sq.m. and less than 3m in height – clarification as to the distance to the front boundary of the site is required.

However, notwithstanding the above, there is potentially an issue as to whether the existing dwelling in its current form (elevation and side extension) ever received planning permission or whether it was constructed as 'pre 63'. i.e. is it an authorised structure to which exemptions would not apply? It may for instance have been a farmhouse which was remodelled in the 1960s/1970s. The finishes have dated considerably in style and condition. The flat roof/brick clad side extension is, in particular unsightly and visually incongruous as was the timber cladding (prior to its removal). The only planning history I can find is as outlined above (the refusal in 1973 and the grant in 2018). Clarification is therefore required in this regard.

## **6. ENVIRONMENTAL ASSESSMENT**

I note the provisions of sections 4(4), 4(4A) and 177U(9) of the Act which state as follows:

### *Section 4(4),*

*Notwithstanding paragraphs (a), (i), (ia) and (l) of subsection (1) and any regulations under subsection (2), development shall not be exempted development if an environmental impact assessment or an appropriate assessment of the development is required.*

### *Section 4(4A)*

*Notwithstanding subsection (4), the Minister may make regulations prescribing development or any class of development that is—*

- (a) authorised, or required to be authorised by or under any statute (other than this Act) whether by means of a licence, consent, approval or otherwise, and*
  - (b) as respects which an environmental impact assessment or an appropriate assessment is required,*
- to be exempted development.*

### *Section 177U(9)*

*In deciding upon a declaration or a referral under section 5 of this Act a planning authority or the Board, as the case may be, shall where appropriate, conduct a screening for appropriate assessment in accordance with the provisions of this section.*

## **6.1 Screening for Environmental Impact Assessment**

Having regard to the contents of Article 103 and Schedule 7 of the Planning and Development Regulations 2001, as amended it is considered that the proposed development by reason of its nature, scale and location would not be likely to have significant effects on the environment. Accordingly it is considered that environmental impact assessment is not required.

## **6.2 Screening for Appropriate Assessment**

The applicant has not submitted an appropriate assessment screening report. The relevant European sites are the Cork Harbour SPA (site code 004030) and the Great Island Channel cSAC (site code 001058). Having regard to the location of the proposed development site relative to these European

sites and related watercourses and to the nature and scale of the proposed development it is considered that the proposed development would not affect the integrity of these European sites. Accordingly, it is considered that appropriate assessment is not required.

## **7. CONCLUSION & RECOMMENDATION**

It is considered that the Planning Authority does not have sufficient information to make a recommendation in this instance and that Further Information is required.

1. Please be advised that the Planning Authority is not aware of any planning permission/application existing for the existing dwelling or changes that may have been made to an original dwelling i.e. its elevational treatment/porch and side extension and there is a question therefore as to whether the existing structure is an authorised structure to which exemptions can apply. Please clarify whether you are aware of any such permission or of the date of construction of the original house or where alterations were made subsequent to the construction of the original house - the date of the construction of such alterations.
2. Please clarify whether it is intended to carry out the development permitted under 18/5576 noting revised drawings attached to that application and Conditions 1 and 2 of that permission and that a grant of permission must be implemented in its entirety.
3. Please confirm the distance between the porch roof and the front boundary of the site.
4. Please clarify the colour of the original timber board (weathered or painted) and the proposed timber board.
5. Please confirm the colour and material of the existing roof slates/tiles and materials of proposed roof slates.

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Evelyn Mitchell,  
Senior Executive Planner,  
12.10.2020

COMHAIRLE CATHRACH CHORCAÍ  
CORK CITY COUNCIL

Community, Culture & Placemaking Directorate,  
Cork City Council, City Hall, Anglesea Street, Cork.

R-Phost/E-Mail [planning@corkcity.ie](mailto:planning@corkcity.ie)

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Comhairle Cathrach Chorcaí  
Cork City Council

27-08-2020

Strategic Planning & Economic  
Development Directorate

**SECTION 5 DECLARATION APPLICATION FORM**  
under Section 5 of the Planning & Development Acts 2000 (as amended)

**1. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT**

Elm Vale, Poulavone, Berrigrohane, Ballincollig, Co. Cork

**2. QUESTION/ DECLARATION DETAILS**

**PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:**

Sample Question: Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?

Note: only works listed and described under this section will be assessed under the section 5 declaration.

1. Replacement of single glazed window units with new double glazed units.
2. Replacement of front porch canopy with new canopy (Floor size less than 2 sqm)
3. Replacement of front door as shown.
4. Replacement of garage door as shown.
5. Replacement of roof slates with new black slates
6. Replacement of all 1<sup>st</sup> floor cladding boards with new timber boards

**ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:**

(Use additional sheets if required).

1. See drawing of elements being replaced on front elevation - "Existing Front Elevation"
2. See drawing of proposed elements for which declaration is sought on front elevation - "Front Elevation-Section 5"
3. See drawing of elements being replaced on East side elevation - "East Side Elevation"
4. See drawing of proposed elements for which declaration is sought of East side elevation - "East Side Elevation-Section 5"
5. See "Dwelling street view photo" where elements being replaced can be seen.

3. Are you aware of any enforcement proceedings connected to this site? **NO**  
 If so please supply details:

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4. Is this a Protected Structure or within the curtilage of a Protected Structure?  **NO**

If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 been requested or issued for the property by the Planning Authority?

5. Was there previous relevant planning application/s on this site?   
 If so please supply details: **File Number 185576**

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**6. APPLICATION DETAILS**

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s		
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 <sup>st</sup> October, 1964, (including those for which planning permission has been obtained)?	Yes <input type="checkbox"/> No <input type="checkbox"/>	If yes, please provide floor areas. (sq m) _____
(c) If concerning a change of use of land and / or building(s), please state the following:		
Existing/ previous use (please circle)	Proposed/existing use (please circle)	
_____	_____	
_____	_____	
_____	_____	

**8. LEGAL INTEREST**

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is 'Other', please state your interest in the land/structure in question		
If you are not the legal owner, please state the name and address of the owner if available		

9. I / We confirm that the information contained in the application is true and accurate:

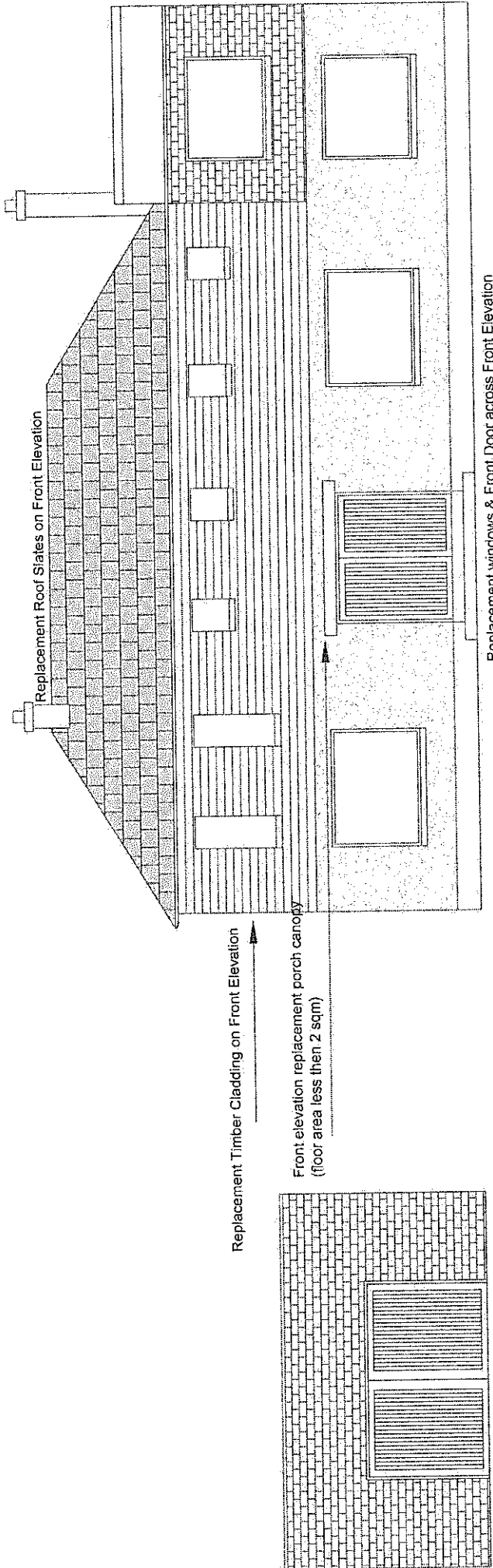
Signature: 

Date: 10/8/2020

- The Planning Authority may require further information to be submitted to enable the authority to issue the declaration.
- The Planning Authority may request other person(s) other than the applicant to submit information on the question which has arisen and on which the declaration is sought.
- Any person issued with a declaration may on payment to An Bord Pleanála refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.
- In the event that no declaration is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a declaration was due to be issued by the Planning Authority.

*The application form and advisory notes are non-statutory documents prepared by Cork City Council for the purpose of advising as to the type information is normally required to enable the Planning Authority to issue a declaration under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations 2001 as amended.*

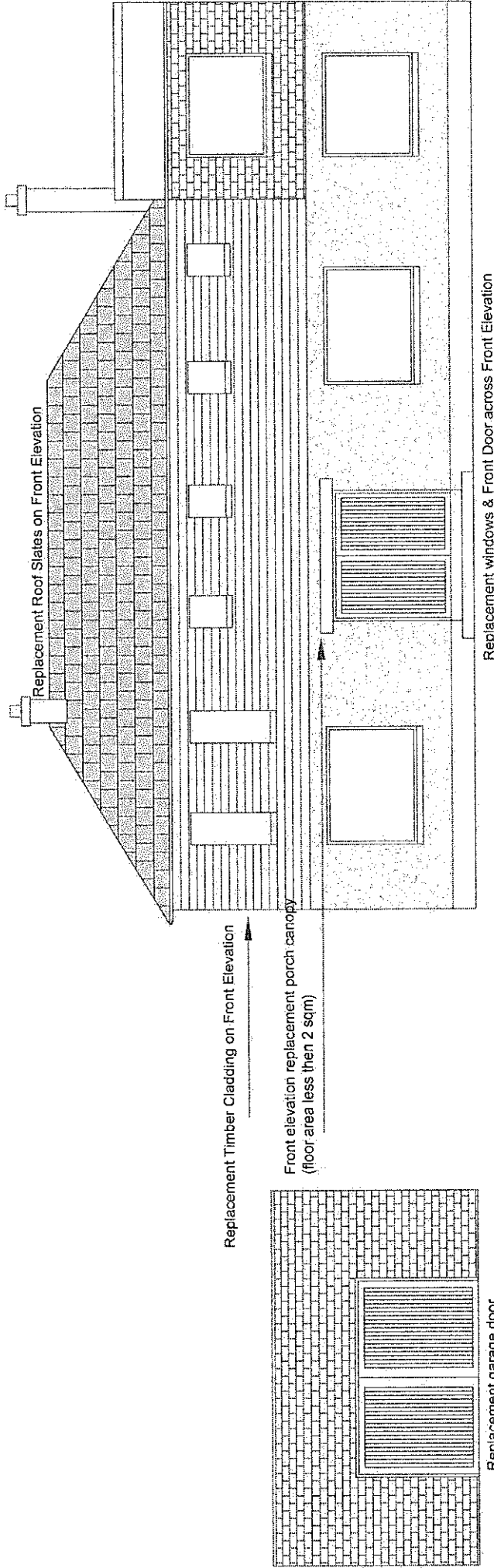
**DATA PROTECTION:** The use of the personal details of planning applicants, including for marketing purposes, may be unlawful under the Data Protection Act 1988-2003 and may result in action by the Data Protection Commissioner against the sender, including prosecution.



1. Replacement window units to be fitted into existing window openings with grey frames and double glazing.
2. Flat roofed porch canopy to front door removed for repair and maintenance reasons. New replacement flat roofed porch canopy (with floor area also of less than 2 sqm) to be reinstated in its place. No front or side enclosures on new porch as per previous porch. Porch fascia to front and sides is the only visible element of the porch in elevation. The fascia is of pre-formed flat aluminium with a grey finish.
3. Replacement front door to be fitted into existing front double door opening. Hardwood door.
4. Replacement garage door to be fitted into existing lift and tilt door opening. Hardwood door.
5. Replacement of roof slates with matching black slates of the same size and orientation as existing.
6. Replacement of all timber cladding to 1st floor of existing dwelling to replicate boards removed for repair and maintenance reasons.

Site: Elm Vale, Poulavone, Ballincollig, Co Cork	
Drawing : Front Elevation - Section 5	
Drawn By : Ciaran Lucey Elm Vale, Poulavone, Ballincollig, Co.Cork	Scale 1:100





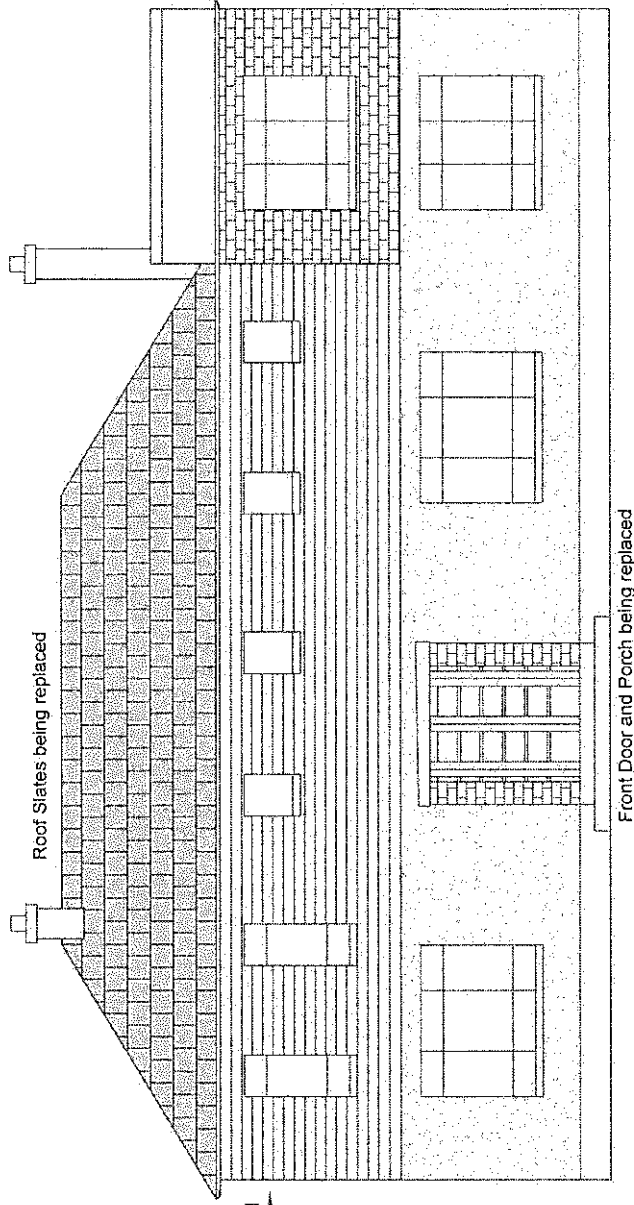
1. Replacement window units to be fitted into existing window openings with grey frames and double glazing.
2. Flat roofed porch canopy to front door removed for repair and maintenance reasons. New replacement flat roofed porch canopy (with floor area also of less than 2 sqm) to be reinstated in its place. No front or side enclosures on new porch as per previous porch. Porch fascia to front and sides is the only visible element of the porch in elevation. The fascia is of pre-formed flat aluminium with a grey finish.
3. Replacement front door to be fitted into existing front double door opening. Hardwood door.
4. Replacement garage door to be fitted into existing lift and tilt door opening. Hardwood door.
5. Replacement of roof slates with matching black slates of the same size and orientation as existing.
6. Replacement of all timber cladding to 1st floor of existing dwelling to replicate boards removed for repair and maintenance reasons. Replacement with Larch to best match cladding boards which are required to be replaced.

Site: Elm Vale, Poulavone, Ballincollig, Co Cork

Drawing : Front Elevation - Section 5

Drawn By :  
 Crothur Lucey  
 Elm Vale, Poulavone,  
 Ballincollig, Co. Cork

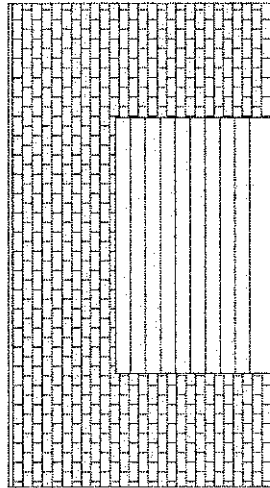
Scale 1:100



Timber Cladding being replaced

Roof Slates being replaced

Front Door and Porch being replaced



Garage Door being replaced

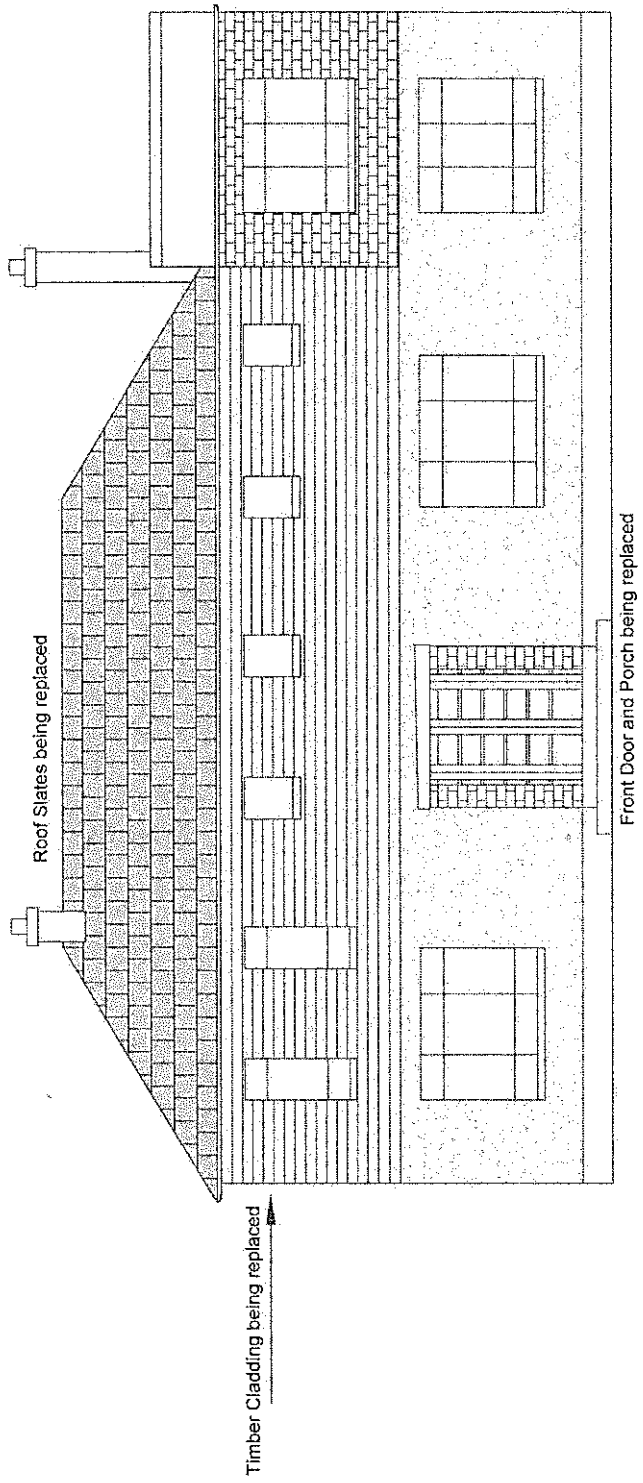
Note: Any aspect of the dwelling can be reviewed on planning application file number 185576 documentation, drawings and photos held on file by Cork City Council.

Site: Elm Vale, Poulavone, Ballincollig, Co Cork

Drawing : Existing Front Elevation

Drawn By :  
 Crothur Lucey  
 Elm Vale, Poulavone,  
 Ballincollig, Co.Cork

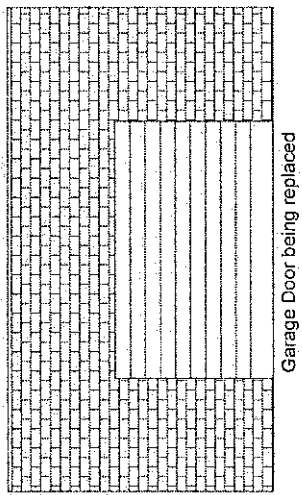
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Timber Cladding being replaced

Roof Slates being replaced

Front Door and Porch being replaced



Garage Door being replaced

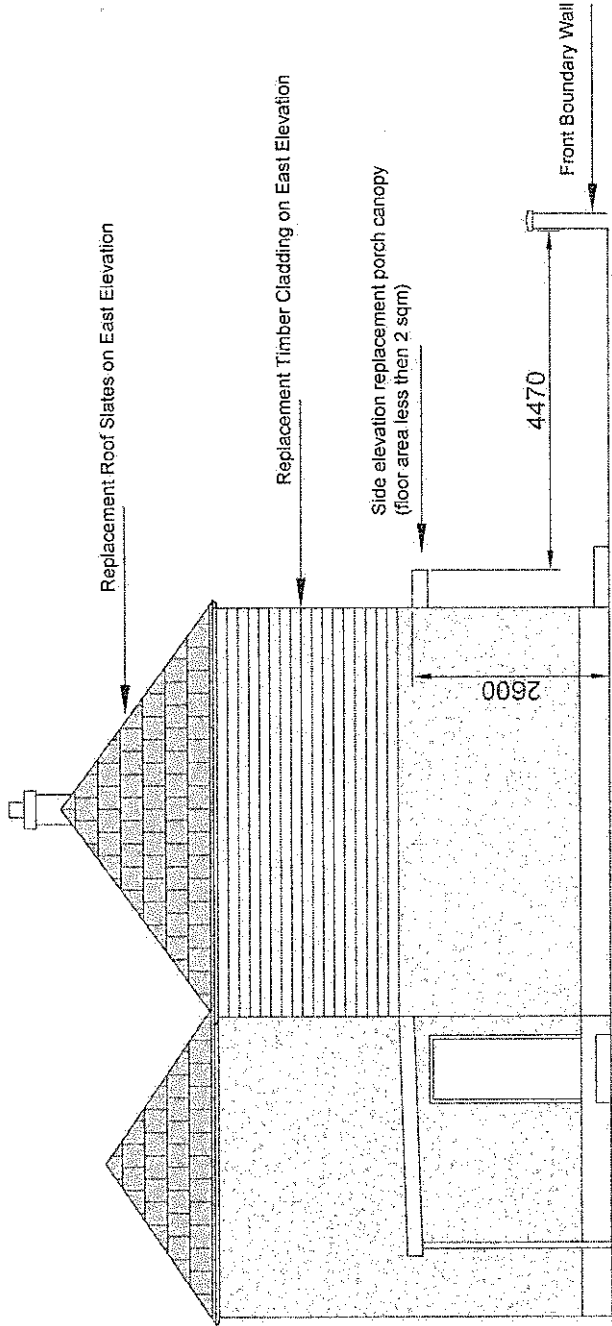
Note: Any aspect of the dwelling can be reviewed on planning application file number 185576 documentation, drawings and photos held on file by Cork City Council.

Site: Elm Vale, Poulavone, Ballincollig, Co Cork

Drawing : Existing Front Elevation

Drawn By :  
 Crothur Lucey  
 Elm Vale, Poulavone,  
 Ballincollig, Co.Cork

Scale 1:100

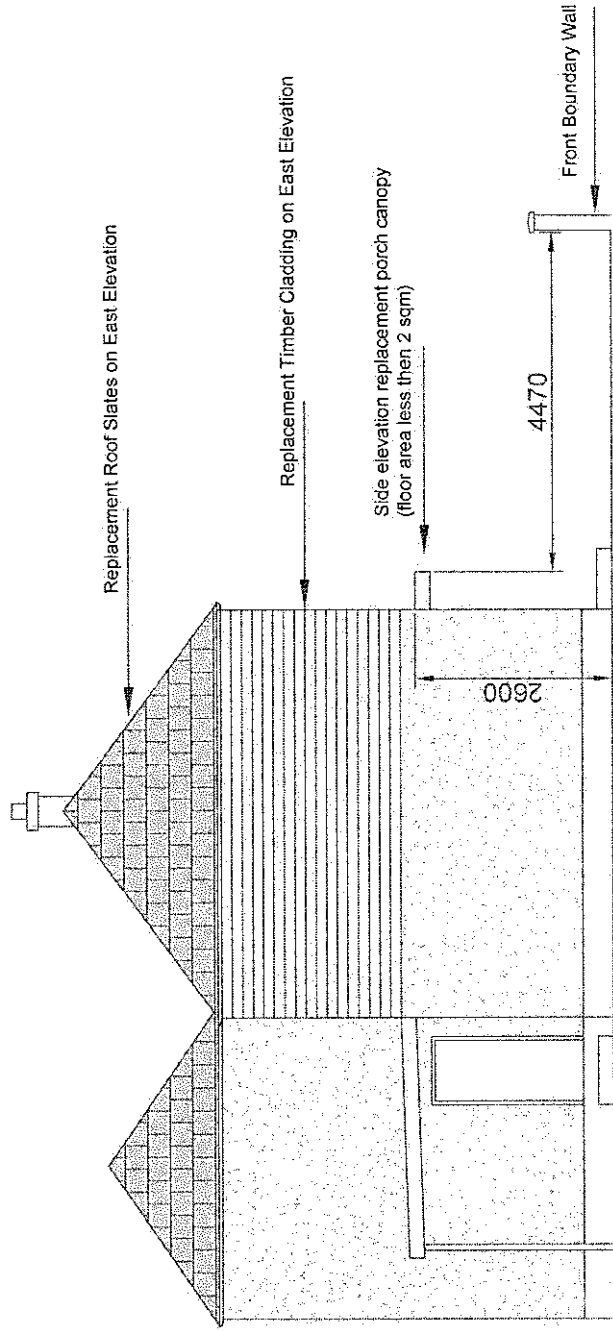


Site: Elm Vale, Poulavone, Ballincollig, Co Cork

Drawing : East Side Elevation - Section 5

Drawn By :  
 Crothur Lucey  
 Elm Vale, Poulavone,  
 Ballincollig, Co.Cork

Scale 1:100

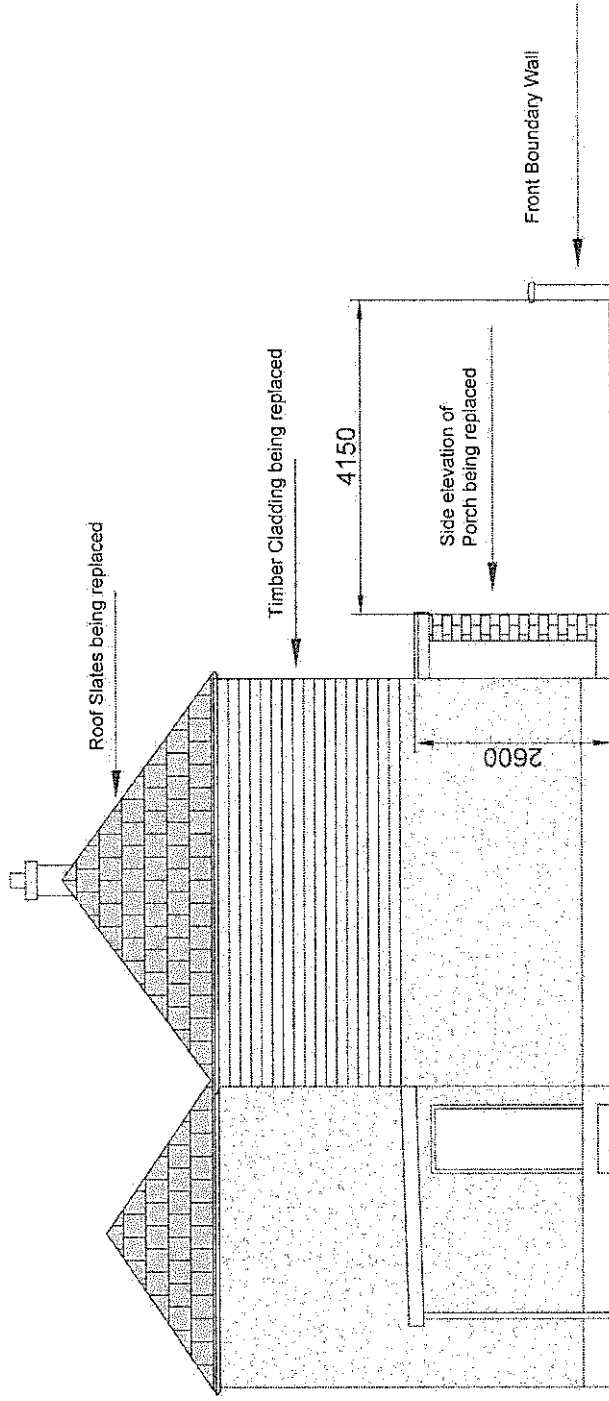


Site: Elm Vale, Poulavone, Ballincollig, Co Cork

Drawing : East Side Elevation - Section 5

Drawn By :  
Crothur Lucey  
Elm Vale, Poulavone,  
Ballincollig, Co.Cork

Scale 1:100

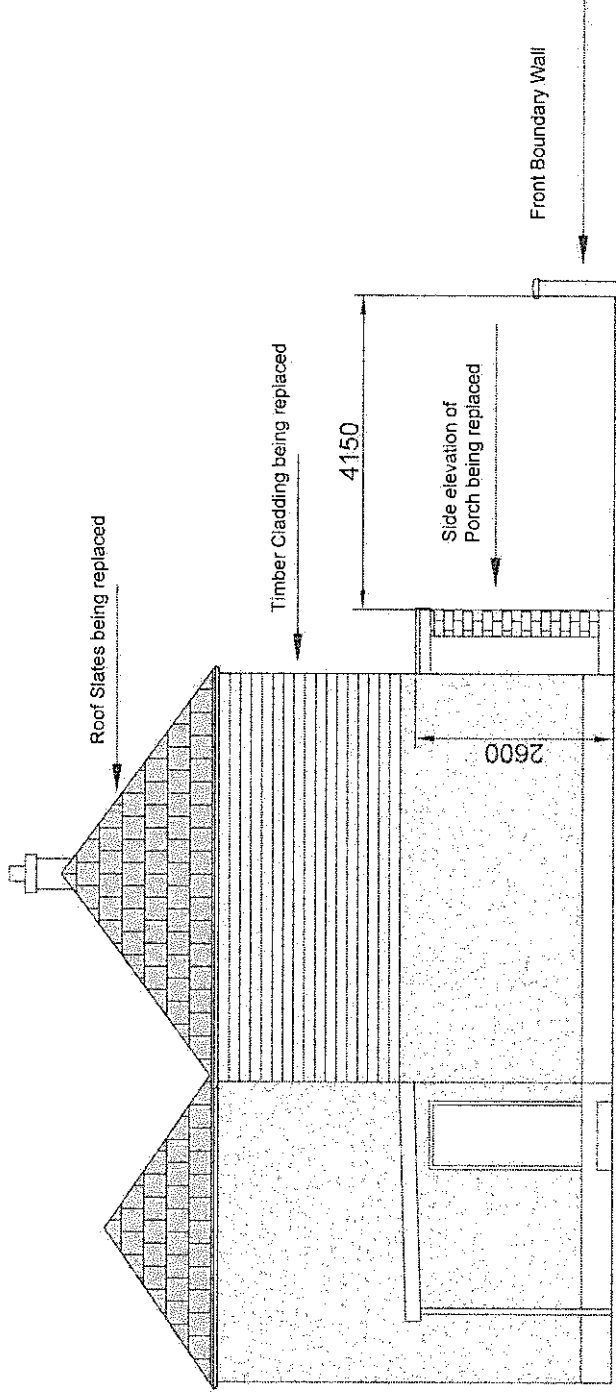


Site: Elm Vale, Poulavone, Ballincollog, Co Cork

Drawing : East Side Elevation

Drawn By :  
 Crothur Lucey  
 Elm Vale, Poulavone,  
 Ballincollog, Co.Cork

Scale 1:100



Site: Elm Vale, Poulavone, Ballincollog, Co Cork

Drawing : East Side Elevation

Drawn By :  
Crothur Lucey  
Elm Vale, Poulavone,  
Ballincollog, Co.Cork

Scale : 1:100



Dwelling street view photo.





Dwelling street view photo



Surveyed 1990  
 Revised 2016  
 Levelled 1986

# Urban PLACE Map



571094

**ITM CENTRE PT. COORDS**

560492,571008

**DESCRIPTION**

**MAP SHEETS**

1:1000  
 6381-16



Authorised  
 Internet Map

Amh Thomais agus an tArdleas ag Surbhéireacht Ordánais Éireann, Plean in Fhionnuithe, Baile Átha Cliath & Éire. Complete and published by Ordnance Survey Ireland, Phoenix Park, Dublin 8, Ireland.

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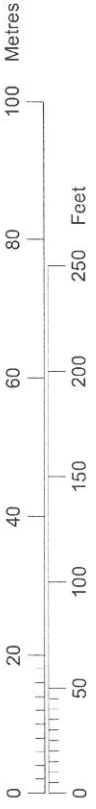
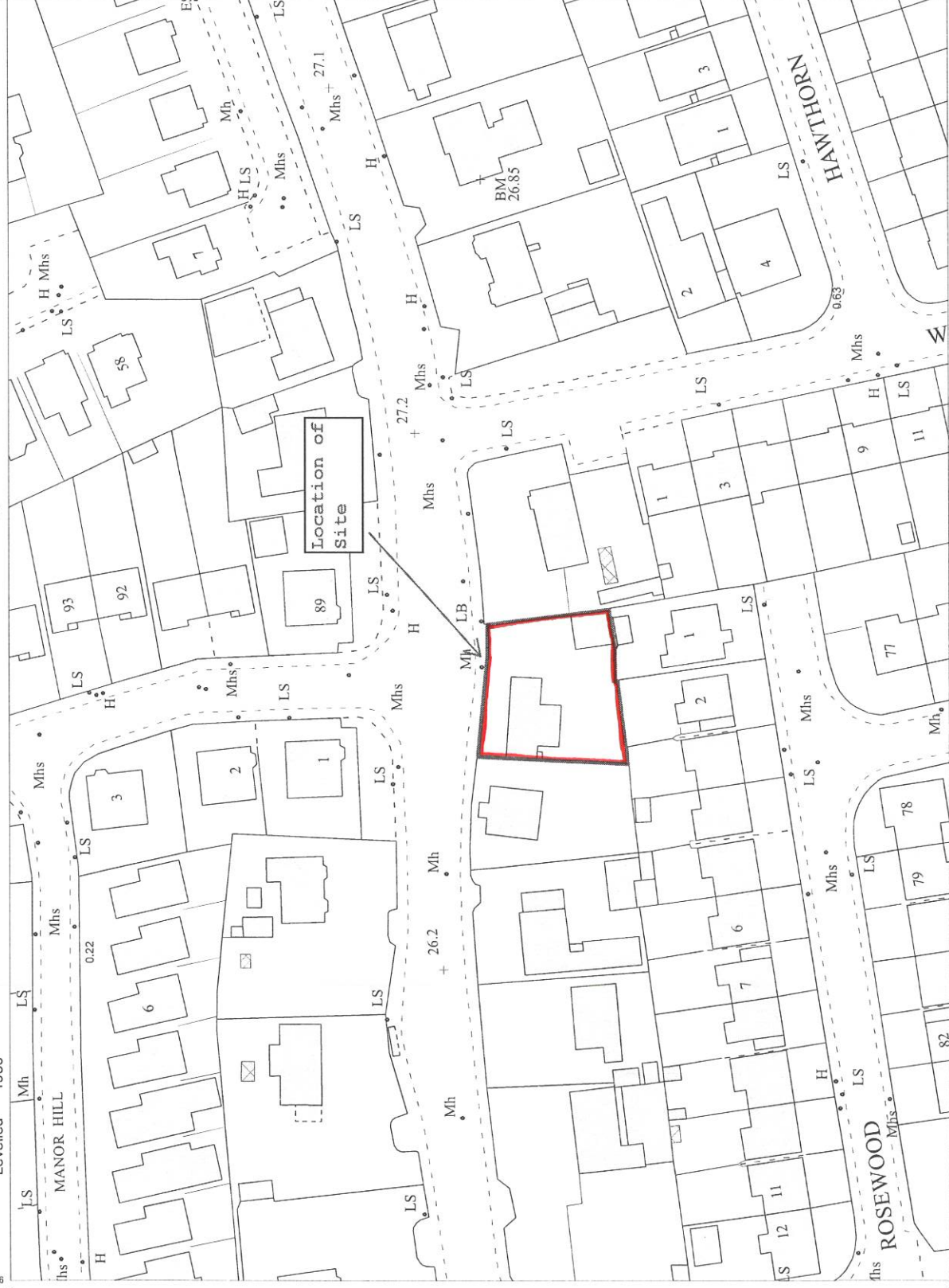
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Scale:- 1:1,000  
 Scála:- 1:1,000

Plot Ref. No. 19772404\_1\_1  
 Plot Date 15-FEB-2018

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