



Comhairle Cathrach Chorcaí Cork City Council

Halla na Cathrach, Corcaigh - City Hall, Cork - T12 T997

Jack Coughlan
Lee Villa
Sundays Well Road
Cork

06/09/19

RE: Section 5 Declaration R534/19 Lee Villa, Sundays Well, Cork

A Chara,

With reference to your request for a Section 5 Declaration at the above named property, I wish to advise as follows:

having regard to —

- Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended)

It is considered that proposed *renovation works to property known as Lee Villa, Sundays Well Road in Cork City* Is **Development** and is **Not Exempted Development**.

Yours faithfully,

Paul Hartnett
Development Management Section
Community, Culture and Placemaking Directorate
Cork City Council



We are Cork.

PLANNER'S REPORT Ref. R534 /19		Cork City Council Culture, Community and Placemaking
Application type	Section 5 Declaration	
Description	<i>Whether Proposed Renovation Works to Property Known as Lee Villa, Sundays Well Road in Cork City are exempted development</i>	
Location	Lee Villa, 21 Sundays Well Road, Cork	
Applicant	Jack Coughlan	
Date	30/08/2019	
Recommendation	<i>Is Development and Is Not Exempted Development</i>	

In this report 'the Act' means the Planning and Development Act 2000 (as amended) and 'the Regulations' means the Planning and Development Regulations 2001 (as amended), unless otherwise indicated.

1. Requirements for a Section 5 Declaration

Section 5(1) of the Planning and Development Act 2000 as amended states;

5.—(1) If any question arises as to what, in any particular case, is or is not development or is or is not exempted development within the meaning of this Act, any person may, on payment of the prescribed fee, request in writing from the relevant planning authority a declaration on that question, and that person shall provide to the planning authority any information necessary to enable the authority to make its decision on the matter.

The requirements for making a section 5 declaration are set out in the Act.

2. The Question before the Planning Authority

In framing the question to the planning authority, the applicant states in Q2 of the application form:

Whether proposed renovation works to property known as Lee Villa, Sundays Well Road in Cork City are exempted development.

3. Site Description

The property in question is a large detached five-bay three storey building constructed in the 1800's. The structure is located on the northern side of the River Lee, with views over the river.

The building has been identified as being of Regional level significance by the NIAH. It is not on the RPS nor does it form part of an ACA.

4. Planning History

There is no recent planning history associated with the subject site

5. Legislative Provisions – *Planning and Development Act 2000 (as Amended)*

Section 2(1),

"works" includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Section 3(1),

In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or ‘the making of any material change in the use of any structures or other land’

Section 4(1)(h),

The following shall be exempted developments for the purposes of this Act-development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

Section 177U (9) (screening for appropriate assessment)

In deciding upon a declaration or a referral under section 5 of this Act a planning authority or the Board, as the case may be, shall where appropriate, conduct a screening for appropriate assessment in accordance with the provisions of this section.

6. ASSESSMENT

6.1 Development

The first issue for consideration is whether or not the matter at hand is ‘development’.

‘Development’ as defined in the Act (3)(1) comprises two possible chief components: ‘the carrying out of any works on, in, over or under land’, or ‘the making of any material change in the use of any structures or other land’. In order to ascertain whether or not the subject use is considered to be development as so defined, consideration must first be given to whether any works on, in, over or under land have or will be carried out, and secondly to whether any material change in the use of any structures or other land have or will take place.

‘Works’ is defined in section 2(1) of the Act as ‘the carrying out of any works on, in, over, or under land’ including ‘any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal, and in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.’.

It is considered that that the proposed renovation of the subject building are works and those works constitute development.

5.2 Exempted development

The next issue for consideration is whether or not the matter at hand is exempted development.

The Section 5 Planning Statement submitted as part of the application states that:

Due to ongoing issues of subsidence the structure effects of the bay window additions on the original structure, it is proposed to remove a number of these late-19th century additions to the existing house, including the balcony and two-storey bay windows on either side of the front (south) elevation.

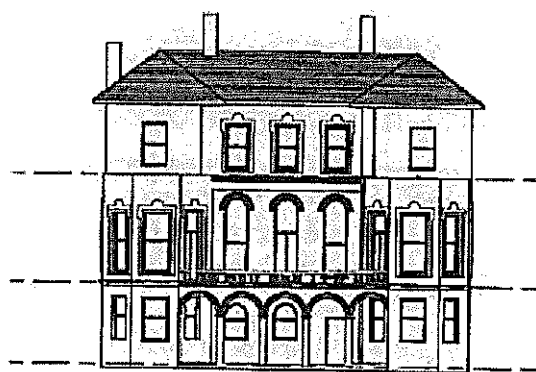
In place of the existing projecting bay windows it is proposed to provide a pair of windows to both the ground and first floors. In addition, it is proposed to convert the two central, south-headed windows at ground floor level to French Doors leading to the terrace and fountain which is retained to the front of the house.



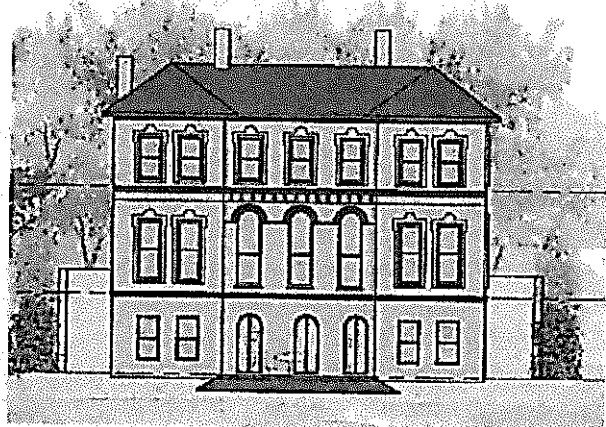
Google 3D Mapping

I note that the removal of the bay windows will result in a decrease to the floor area of the ground and first floors. Further the removal of the balcony will also result in the removal of the arcade supporting structure.

The applicants provided the following graphic in support of their application:



Existing South Elevation



Proposed South Elevation

I note that the second floor of the existing south elevation does not accord with the building, as constructed, in particular the window arrangement above the bay windows.

The applicant states that the works are considered exempt in accordance with Section 4(1)(h) of the *Planning and Development Act 2000* which states:

The following shall be exempted developments for the purposes of this Act-development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

The photograph provided, in the Section 5 Planning Statement, shows that the southern façade of the original building built c.1820. It is noted that the proposed alterations to the current structure will not reinstate this earlier façade as the c.1880 alterations included the addition of an additional storey which is not proposed to be removed.

The extent to which the structure was altered by the addition of the additional storey, bay windows, arcade supported balcony and other decorative elements materially changed the character in the 1880's. The proposed alterations will remove the two storey bay windows, the balcony and the arcade, removing historic materials which form key elements of the late 19th century elevation.

The removal of historical fabric will materially change the character of the building. It is concluded therefore the proposed works will materially alter the external appearance and hence character of the structure. The change in character of the building, it is considered, will render the appearance inconsistent with the current 1880's character of the structure.

The Section 5 Planning Statement submitted as part of the application concludes that:

In this instance, the overall shape, colour, layout and size of the building are not being affected. To an extent, its design and ornamental features are but it is considered not to the extent as to render the appearance inconsistent with the character of the original building. Indeed, the proposed works will not just address the issue of subsidence and structural cracking but see the building return more to its original 1820 character.

This conclusion clearly indicates that the proposed works will 'return' the building more to its c.1820's character. There will clearly therefore be a change to the character of the building; from its current c.1880's style façade to one that the applicants state is more akin to the original c.1820's exterior. The proposed works will render the character so that it is somewhere between the original (1820's) and the existing (1880's) style, rendering the new appearance inconsistent with the current 1880's character of the structure.

Given the extent of works proposed it is concluded that the proposed works will alter the character of this structure and therefore cannot therefore rely upon the exemption set out in Section 4(1)(h) of the *Planning and Development Act 2000* (as amended) or any other exemption set out either therein or in the *Planning and Development Regulations 2001* (as amended).

7. ENVIRONMENTAL ASSESSMENT

7.1 Screening for Environmental Impact Assessment

Having regard to the contents of Article 103 (as amended by Article 14 of the Planning and Development (Amendment) (No 3) Regulations 2011) and Schedule 7 of the Planning and Development Regulations 2001 (as amended) it is considered that the proposed development by reason of its nature, scale and location would not be likely to have significant effects on the environment. Accordingly it is considered that an environmental impact statement is not required to be submitted.

7.2 Screening for Appropriate Assessment

Section 177U (9) of the Act requires planning authorities to screen applications for a section 5 declaration for appropriate assessment. The provisions of the *Habitats Directive*, the *Appropriate Assessment Guidelines for Planning Authorities 2009* (revised 2010) and the Act are noted. The relevant European sites are the Cork Harbour SPA (site code 004030) and the Great Island Channel cSAC (site code 001058). Having regard to the location of the proposed development site relative to these European sites and related watercourses and to the nature and scale of the proposed development it is considered that the proposed development would not affect the integrity of the European sites referred to above. Accordingly it is considered that appropriate assessment is not required.

8. Conclusion

The question has been asked whether:

Whether proposed renovation works to property known as Lee Villa, Sundays Well Road in Cork City are exempted development.

Having considered the particulars submitted with the application and the relevant legislation as set out above, it is considered that the proposed altered layout is development and is not exempted development.

9. RECOMMENDATION

In view of the above and having regard to —

- Sections 2, 3 and 4 of the Planning and Development Act 2000 (as amended)

It is considered that proposed *renovation works to property known as Lee Villa, Sundays Well Road in Cork City* **Is Development** and is **Not Exempted Development**.

Martina Foley
Executive Planner

Agreed MW . 4/09/19 .
Svr. Ex. Planner .

**COMHAIRLE CATHRACH CHORCAÍ
CORK CITY COUNCIL**

Strategic Planning & Economic Development Directorate,
Cork City Council, City Hall, Anglesea Street, Cork.

R-Phost/E-Mail planning@corkcity.ie
Fón/Tel: 021-4924564/4321
Líonra/Web: www.corkcity.ie

SECTION 5 DECLARATION APPLICATION FORM
under Section 5 of the Planning & Development Acts 2000 (as amended)

1. POSTAL ADDRESS OF LAND OR STRUCTURE FOR WHICH DECLARATION IS SOUGHT

LEE VILLA, SUNDAY WALK RD
CORK T23 XH52.

2. QUESTION/ DECLARATION DETAILS

PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT:

Sample Question: Is the construction of a shed at No 1 Wall St, Cork development and if so, is it exempted development?

Note: only works listed and described under this section will be assessed under the section 5 declaration.

WHETHER PROPOSED RENOVATION WORKS
TO PROPERTY KNOWN AS LEE VILLA
SUNDAY WALK ROAD IN CORK CITY
ARE EXEMPTED DEVELOPMENT.

ADDITIONAL DETAILS REGARDING QUESTION/ WORKS/ DEVELOPMENT:

(Use additional sheets if required).

SECTION 5 PLANNING STATEMENT
PREPARED BY COLLEEN RINELL
PLANNING CONSULTANTS
STRUCTURAL CONDITION INSPECTION
REPORT BY MORGAN MUNCH, ENGINEER
PROPOSED FLOOR PLAN & SUBMISSION
SURVEY DRY BY GEOMATICA
05 MAP WORK

3. APPLICATION DETAILS

Answer the following if applicable. Note: Floor areas are measured from the inside of the external walls and should be indicated in square meters (sq. M)

(a) Floor area of existing/proposed structure/s	327 m ²
(b) If a domestic extension, have any previous extensions/structures been erected at this location after 1 st October, 1964, (including those for which planning permission has been obtained)?	Yes <input type="checkbox"/> No <input type="checkbox"/> If yes, please provide floor areas. (sq m) N/A
(c) If concerning a change of use of land and / or building(s), please state the following:	
Existing/ previous use (please circle)	Proposed/existing use (please circle)
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4. APPLICANT/ CONTACT DETAILS

Name of applicant (principal, not agent):		JAKE LOUGHAN
Applicants Address	LEE VILLA SONAUGH WOOD RD CO. DUBLIN T23 XNS2	
Person/Agent acting on behalf of the Applicant (if any):	Name:	NONE
	Address:	
	Telephone:	
	Fax:	
	E-mail address:	
Should all correspondence be sent to the above address? <small>(Please note that if the answer is 'No', all correspondence will be sent to the Applicant's address)</small>		Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>

5. LEGAL INTEREST

Please tick appropriate box to show applicant's legal interest in the land or structure	A. Owner <input checked="" type="checkbox"/>	B. Other <input type="checkbox"/>
Where legal interest is 'Other', please state your interest in the land/structure in question		
If you are not the legal owner, please state the name and address of the owner if available		

6.1 / We confirm that the information contained in the application is true and accurate:

Signature: 

Date: 15 AUG 2019

ADVISORY NOTES:

The application must be accompanied by the required fee of €80

The application should be accompanied by a site location map which is based on the Ordnance Survey map for the area, is a scale not less than 1:1000 and it shall clearly identify the site in question.

Sufficient information should be submitted to enable the Planning Authority to make a decision. If applicable, any plans submitted should be to scale and based on an accurate survey of the lands/structure in question.

The application should be sent to the following address:

The Development Management Section, Strategic Planning & Economic Development
Directorate, Cork City Council, City Hall, Anglesea Street, Cork.

- The Planning Authority may require further information to be submitted to enable the authority to issue the declaration.
- The Planning Authority may request other person(s) other than the applicant to submit information on the question which has arisen and on which the declaration is sought.
- Any person issued with a declaration may on payment to An Bord Pleanála refer a declaration for review by the Board within 4 weeks of the date of the issuing of the declaration.
- In the event that no declaration is issued by the Planning Authority, any person who made a request may on payment to the Board of such a fee as may be prescribed, refer the question for decision to the Board within 4 weeks of the date that a declaration was due to be issued by the Planning Authority.

The application form and advisory notes are non-statutory documents prepared by Cork City Council for the purpose of advising as to the type information is normally required to enable the Planning Authority to issue a declaration under Section 5. This document does not purport to be a legal interpretation of the statutory legislation nor does it state to be a legal requirement under the Planning and Development Act 2000 as amended, or Planning and Development Regulations 2001 as amended.

DATA PROTECTION

The use of the personal details of planning applicants, including for marketing purposes, may be unlawful under the Data Protection Act 1988-2003 and may result in action by the Data Protection Commissioner against the sender, including prosecution

Lee Villa,
Sundays Well Road,
Cork
T23XN52

15th August 2019



Received
28/08/19.
MW. SEP.

CORK CITY COUNCIL

Strategic Planning & Economic Development Directorate,
Cork City Council, City Hall,
Anglesea Street,
Cork.

emailed P. Ruane
to discuss.

Re: Lee Villa Sundays Well Road , Cork: Section 5 Declaration

Dear Sir/Madam

In support of a Section 5 declaration as to whether Renovation Works to Lee Villa are exempted development I enclose two copies of the following:

Completed Application form

Section 5 Planning Statement prepared by Coakley O'Neil Planning Consultants

Structural Condition Inspection Report by Horganlynch Consulting Engineers Proposed

Floor Plans and Elevations by JCA Architects

Survey Drawings prepared by Geodata

OS map 1.1000.

We also enclose a cheque for €80 being the appropriate fee.

Yours sincerely

Jack Coughlan

COAKLEY O'NEILL
town planning

Section 5 Planning Statement
**Lee Villas,
Sundays Well, Cork City**

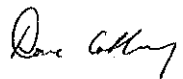
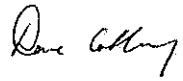
Prepared in August 2019 on behalf of

JCA Architects

Coakley O'Neill Town Planning Ltd.

Document Control Sheet

Client	Jack Coughlan
Project Title	Sundays Well
Job No.	CON19099
Document Title	Section 5 Statement
Number of Pages	13

Revision	Status	Date of Issue	Authored	Checked	Signed
1	Draft	13 th August, 2019	DC	AON	
2	Final	15 th August, 2019	DC	AON	

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1.0 Introduction

1.1 We, Coakley O'Neill Town Planning Ltd., NSC Campus, Mahon, Cork, have been instructed by JCA Architects to prepare this report in support of an application seeking a Section 5 declaration as to whether proposed renovation works to the property known as 'Lee Villas' at No.21 Sundays Well Road in Cork City are exempted development.

1.2 Hereunder, we set out the case for the declaration of an exemption for the proposed works.

1.3 In arriving at a conclusion, we have had regard to the relevant planning policy documents regulating the development of the site, including the Planning and Development Acts 2000-2018, the Planning and Development Regulations 2001-2019, the Cork City Development Plan, 2015 and various Ministerial Guidelines and Circulars. Our conclusions have also been informed by the decisions of An Bord Pleanála on similar proposals, the site's planning history and other planning precedence, where relevant.

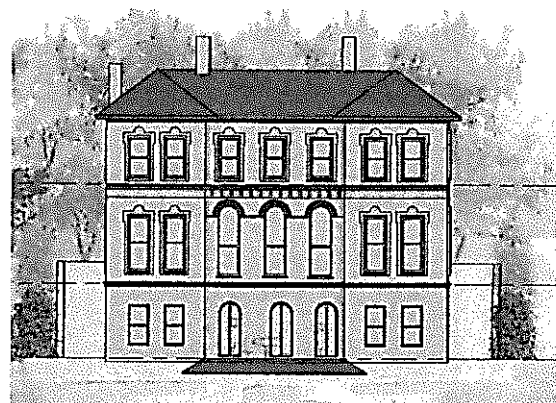
2.0 Proposed Renovation Works

2.1 Due to ongoing issues of subsidence and the structural effects of the bay window additions on the original structure, it is proposed to remove a number of these late-19th century additions to the existing house, including the balcony and two-storey bay windows on either side of the front (south) elevation.

2.2 In place of the existing projecting bay windows it is proposed to provide a pair of windows to both the ground and first floors. In addition, it is proposed to convert the two central, round-headed windows at ground floor level to French doors leading to the terrace and fountain which is retained to the front of the house.



Existing South Elevation



Proposed South Elevation

3.0 Site Location and Property History

3.1 The site is located on Sundays Well Road, overlooking the River Lee to the north of the City Centre island. Access is from the public road to the north and the site slopes steeply to its southern boundary towards the river. Due to its steep slope, the house and gardens have been formed in a series of stepped terraces which have been cut into the slope and retained with a number of retaining walls.

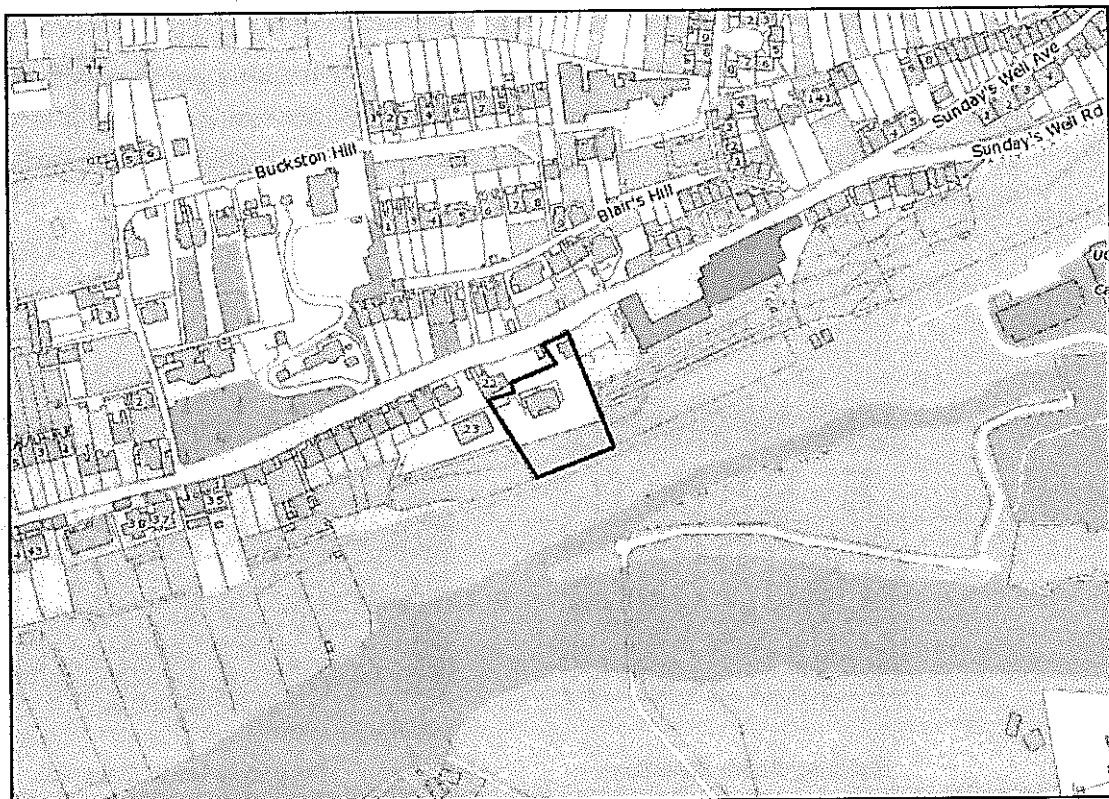
3.2 The National Inventory of Architectural Heritage (NIAH) tells us that the property is a:

....detached five-bay two-storey over basement house, built c.1820, having central three-bay breakfront to front (north) elevation with arcaded base creating porch. It has a five-bay three-storey garden (south) elevation having slightly advanced end-bays.

3.3 It also advises of:

...a late Victorian reconstruction c.1880, that included two-storey canted bay windows with connecting balcony at first floor level surmounted on arcaded veranda to south elevation.

Figure 1: Subject Site



- 3.4 There is no planning history for the site on the City Council's planning register. The building shown on the first edition OS map was a five-bay two-storey villa, having a tall *piano noble* to the first floor and a full height breakfront of three bays having round-headed opes. The remaining windows were square-headed and all opes had multiple pane sash windows which were exceptionally tall to the first floor.
- 3.5 The redevelopment of the house circa 1880 involved the construction of an additional storey, bay windows to the ground and first floors, and a balcony built across the central bays of the first floor.



Original House Built C.1820



Existing House with C.1880 additions

- 3.6 A Structural Condition Inspection Report carried out in 2017 found substantial evidence of structural cracking and subsidence to the property which was a result of the escape of water from leaking and damaged drains and the resultant softening and loss of subsoil at the site. With respect to the southern elevation of the building, it found that:

The rear (southern elevation) consists of three stories with two no. bay windows to 2nd floor level. There is an external concrete balcony at first floor which is supported by brick columns and brick arches with have been rendered with sand and cement. The concrete balcony shows signs of movement and has multiple cracks visible. The columns and the arches are cracked and some show significant signs of movement.

Given the amount of cracking of the render present on the elevation, water could easily be passing into the walls and causing damp and rot internally.

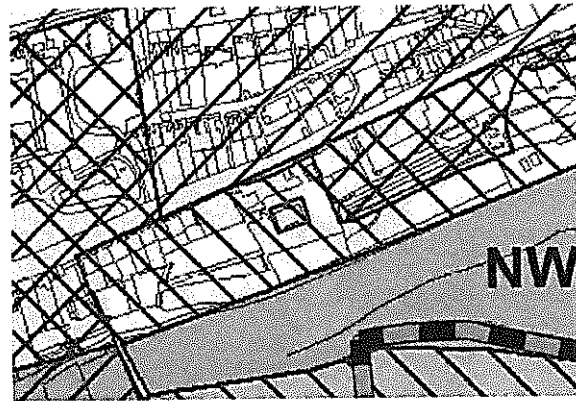
- 3.7 The report concludes:

The extent of structural cracking and visible displacement of the walls, supporting masonry piers and internal floors particularly along the western and southern elevations of the property coupled with the evidence of prolonged and substantial water escape from the underground drains clearly shown that the property has suffered subsidence to foundations due to wash out and loss of the sub soil material.

4.0 Planning Policy

4.1 The subject site is located within the Cork City Council development boundary. The relevant statutory planning document is therefore the *Cork City Council Development Plan, 2015*.

4.2 The subject site is located at No.21 Sundays Well Road to the northwest of the City Centre. It is zoned *ZO 4 Residential, Local Services and Institutional Uses*, the objective of which is 'To protect and provide for residential uses, local services, institutional uses, and civic uses, having regard to employment policies outlined in Chapter 3'.



4.3 Paragraph 15.10 of the Plan confirms that the provision and protection of residential uses and residential amenity is a central objective of this zoning. However other uses, including small scale local services, institutional uses and civic uses and provision of public infrastructure and utilities are permitted, provided they do not detract from residential amenity and do not conflict with the Development Plan's employment use policies.

4.4 The property is listed on the National Inventory of Architectural Heritage (Ref: 20866076) where it is given a regional significance for architectural and artistic interest, as follows:

Appraisal

A handsome and well executed building that was remodelled in the late nineteenth century with additions including canted bays, balcony and decorative render detailing. The front door is set in the north elevation, leaving an uninterrupted south elevation for maximisation of picturesque views and light, and is characteristic of the area. The retention of many interesting features, including timber panelled door with stained glass, polychrome tiles and timber sliding windows, adds to its character and charm.

4.5 Lee Villa is not on the Council's Record of Protected Structures. It is not located within the Sunday's Well Architectural Conservation Area. The site is not within a Zone of Archaeological Potential, nor it is subject to, or impacted by, a national monument designation. It is not within a flood zone. It is not located within, or adjacent to, a Natura 2000 designated site.

4.6 The site is located with an area designated as 'Area of High Landscape Value'.

5.0 Planning Legislation

5.1 The control of development is regulated by the *Planning and Development Acts 2000-2018* (hereafter the Act) and the *Planning and Development Regulations 2001-2019* (hereafter the Regulations), which set out whether, and in which instances, certain types of development require planning permission. They also set out the circumstances under which certain types of development are considered exempt from the requirement to obtain planning permission.

5.2 Section 2(1) of the Act provides the following definitions.

"Works" are defined as:

Any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.'

'Alteration' includes:

*(a) plastering or painting or the removal of plaster or stucco
(b) The replacement of a door, window or roof
that materially alters the external appearance of a structure so as to render the appearance inconsistent with the character of the structure or neighbouring structures".*

"Structure" means any building, structure, excavation, or other thing constructed or made on, in or under land, or any part of a structure so defined."

5.3 Section 3(1) of the Act defines "development", except where the context otherwise requires, to include:

The carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

5.4 Section 4(1) sets out various circumstances in which development is exempted development for the purposes of the Act. More specifically, Section 4(1)(h) sets out the following exemption:

(h) Development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;

5.5 Schedule 2, Part 1 of the Regulations sets out the various instances where development can be considered to be exempt from requiring planning permission.

5.6 The availability of exemptions is qualified by Article 6(1) of the Regulations which states the following:

Subject to article 9, development of a class specified in column 1 of Part 1 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 1 opposite the mention of that class in the said column 1.

5.7 Article 9 sets out restrictions where the exemptions of Schedule 2 of the Regulations will not apply. These include, inter alia, the following:

(a) If the carrying out of such development would:

(vi) interfere with the character of a landscape, or a view or prospect of special amenity value or special interest, the preservation of which is an objective of a development plan for the area in which the development is proposed or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,

(vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan,

(viiA) consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12 (1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended,

(viiC) consist of or comprise development which would be likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000.

(xii) further to the provisions of section 82 of the Act, consist of or comprise the carrying out of works to the exterior of a structure, where the structure concerned is located within an architectural conservation area or an area specified as an architectural conservation area in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan and the development would materially affect the character of the area,

6.0 Referral Precedence

6.1 Because of the nature of the decisions on exempted development, questions arising from similar core facts will be subject to the same legal principles and will give rise to the same conclusions. In general terms therefore, and while acknowledging that each case must be decided on its merits, the decisions of Cork City Council, and Bord Pleanála on referral, regarding exempted development constitute a series of precedents which provide guidance for applicants and planning authorities. Therefore, while each development is generally assessed on a case by case basis, the following referrals provide a context within which the subject case can be considered.

6.2 **An Bord Pleanála Referral: RL2335:** The question in this instance was that of rooflights in the roof of a dwelling at Arkle Square (a protected structure) that had been subject of considerable previous interventions. The rooflights were deemed to be exempt development on grounds of being a modern addition that does not materially affect the character of the structure.

(a) the existing glazing, on the front elevation is not part of the original fabric of the structure, and therefore is not an element of the structure which contributes to its special interest, and that its replacement by double glazing with the same external appearance, as proposed, would not materially affect the character of the protected structure or any element of the structure, (b) the existing glazing on the rear elevation is modern and is not part of the original fabric of the structure, and that its replacement by double glazing with the same external appearance, as proposed, would not materially affect the character of the protected structure or any element of the structure, (c) the proposed rooflights, by reason of their scale and proposed location on the roof of a modern extension to the original structure, would not materially affect the character of the protected structure, and (d) the scope of the works comes within the provisions of section 4(1)(h) of the Planning and Development Act, 2000.

6.3 **An Bord Pleanála Referral: RL61.RL3815** Whereas a question arose as to whether the renovation of properties at Long Walk, Galway to include the removal of a cement based render and replacement with a lime based render, to match the existing finish is or is not development or is or is not exempted development, the Board concluded:

(b) The development comes within the scope of Section 4(1)(h) of the Act, as amended, being works to improve all of the properties, (c) With regard to the three protected structures (numbers 11,12 and 13), the development would come within the scope of Section 57(1) of the Act, as amended, as the works described would not materially affect the character of the three protected structures.

6.4 **An Bord Pleanála Referral ABP 303117-18:** Whereas a question arose as to whether the proposed installation of two additional windows in the rear façade of bedrooms 2 and 3 at second floor level, and the existing door/long window which has been installed in the rear façade at second floor level at 2 Brabazon Street, Dublin 8, is or is not development or is or is not exempted development, the Board concluded having regard to the meaning of the term "character", as elucidated in relevant case law, that the development would not materially affect the external appearance of the structure so as to render that appearance inconsistent with the character of the structure or of neighbouring structures.

7.0 Assessment

- 7.1 The inference in Section 32(2) of the Act that only development which is exempt, or which is in accordance with a permission, should be carried out. Other development would be considered unauthorised development. The key consideration is whether the proposed works can avail of exemption under the planning legislation.
- 7.2 It is considered that the proposal put forward constitutes development by virtue of being works (i.e. *any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal*).
- 7.3 The assessment of this application must therefore be conducted on the basis as to whether these works would, in themselves, constitute development that is exempted development.
- 7.4 It is relevant in this instance that the building is not a Protected Structure and is not within an Architectural Conservation Area.
- 7.5 There are exemptions available under both the Act and the Regulations. The key exemption available under the Act is that provided for under Section 4(1)(h):
- (h) development consisting of the carrying out of works for the maintenance, improvement or other alteration of any structure, being works which affect only the interior of the structure or which do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures;*
- 7.6 It is of note that the restrictions on exemption under Article 9 of the Regulations relate to the classes of exempted development as set out under Schedule 2 (Part 1) of the Regulations (as referred to under Article 6) and do not relate to the works exempted under Section 4(1)(h) of the Act. Therefore, none of the Article 9 restrictions apply to the consideration of the exemption available under Section 4(1)(h) of the Act.
- 7.7 With respect to the availability of exemption under Section 4(1)(h), the following questions arise:
1. Are the works being carried out for the maintenance, improvement or other alteration of a structure;
 2. Do the works materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of neighbouring structures;
 3. Do the works materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure.
- 7.8 With respect to the proposed works, they involve the demolition of later additions to the southern elevation of the building and modifications to the remaining elements. These works are directly related to addressing the significant subsidence and structural cracks evident on this side of the building.

- 7.9 The works are considered to be for the maintenance, improvement or other alteration of the structure and therefore within the scope of those works covered by Section 4(1)(h).
- 7.10 In relation to whether the proposed works will render the appearance of the structure inconsistent with the character of neighbouring structures, given the pattern of development in the area we do not consider that proposed changes will render the building inconsistent with the varied character of buildings and design typologies in the area.
- 7.11 Large detached two and three storey dwellings of varying design bound the northern side of the public road. Terraced two-storey and single-storey dwellings are also in evidence. It is of note that a modern two storey dwelling was recently developed to the immediate west of the subject property on foot of permission granted by the Planning Authority under Application Register Reference 14/36142 and a second more modern dwelling has been constructed at the northern part of the site adjoining the public roadway. St. Vincent's Church is located to the east.
- 7.12 Given this pattern of development and the wide ranging and varied character of buildings in the immediate vicinity of the site, it can be concluded that the proposed works would not render the appearance of the subject property inconsistent with the overall established character in the area.
- 7.13 Furthermore, it is relevant the subject property is set back from the public road and at a lower level and screened extensively by established hedging and trees. Views from the south are long distant from the over side of the river. A cursory review of the existing and proposed south elevations of the building demonstrate to us that views of the building from these more distant locations will not reveal any significant alteration to its character. Finally, it is of relevance that the proposed works would not injure the amenity of property in the vicinity.
- 7.14 In relation to impacts on the character of the building itself, it must be accepted that the proposed works would materially affect the external appearance of the structure. However, and importantly, this in itself does not de-exempt the proposal.
- 7.15 The key test on exemption under 4(1)(h) is whether the resulting appearance would be inconsistent with the character of the original structure and not whether it would be materially changed.
- 7.16 Furthermore, whether the external appearance is affected for better or worse is not at issue. With respect to this, at the Supreme Court (Cairnduff V O'Connell) Finlay CJ found that while the reinstatement of a staircase and balcony as well as the addition of a new window **did materially affect the external appearance** of the building in question, **they were not out of character**.
- 7.17 While character is not defined in the planning legislation, relevant case law (Cairnduff - v - O'Connell [1986] ILRM 465) would indicate that the character of the structure relates to its shape, colour, design, ornamental features and layout, and not to its particular use.

- 7.18 In this instance, the overall shape, colour, layout and size of the building are not being affected. To an extent, its design and ornamental features are but it is considered not to the extent to render the appearance inconsistent with the character of the original building. Indeed, the proposed works will not just to address the issue of subsidence and structural cracking but see the building return more to its original 1820 character.
- 7.19 It is also relevant to consider that some elements of the building have been modified or changed over the years, including the removal of the bay window on the western elevation.
- 7.20 We therefore submit that all external works are development for the purposes of the Planning Acts and are exempted development by reason that they come within the scope of section 4(1)(h) of the said Acts.

8.0 Conclusion

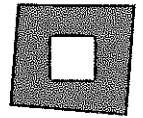
8.1 Having regard particularly to:

- Sections 2, 3 and 4 of the Planning and Development Act, 2000, as amended.
- Articles 5, 6, 9 and 10 of the Planning and Development Regulations, 2001, as amended.
- The context, location and history of the subject site.
- The nature and extent of development proposed.

8.2 We submit that:

- 1. The works proposed to be undertaken constitute development;**
- 2. The works proposed to be undertaken can avail of the exemption available under Section 4(1)(h) of the Planning and Development Acts and can be considered exempted development based on the conclusion that they do not materially affect the external appearance of the structure so as to render the appearance inconsistent with the character of the structure or of neighbouring structures.**

8.3 In conclusion therefore, we submit to Cork City Council that the works renovation proposed to be carried at Lee Villas on Sundays Well Road constitute development which is exempt from the requirement to obtain planning permission.



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Structural Condition Inspection Report



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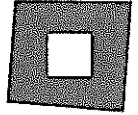
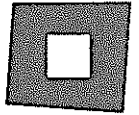


TABLE OF CONTENTS

1. Introduction
2. Site Location & General Description
3. Property Description
4. External Area
 - 4.1 Site Details
 - 4.2 Drainage Details
 - 4.3 Front (North) Elevation
 - 4.4 Western Elevation
 - 4.5 Rear (South) Elevation
 - 4.6 East Elevation
5. Conclusions/Recommendations
6. Appendix – Drainage Report



1. Introduction

At the request of Jack Coughlan & Associates Architects, a Structural condition inspection of 21 Sunday's Well, Cork City was carried out by Pat Brady and Tadgh Crowley on 12th July 2017.

The purpose of this survey and report was to assess the present structural condition of the property and to review structural cracking and visible displacement on walls and floors to the property and to try and identify probable causal factors and make recommendations relating to remediation of same.

In addition to the structural assessment of the building, a detailed condition survey of the existing underground drainage surrounding the property was undertaken and the original clay drains were found to be in a very poor condition with extensive leaking throughout. A copy of the drainage report is attached to appendix A of this report.

It should be noted that this survey was a visual walk over type inspection, no opening up of the structure, foundation, floors etc was carried out, so hidden or covered defects would not have been identified, no responsibility lies on foot of this inspection for such hidden defects.

The scope of the inspection covers the external façade structural condition and internal rooms/walls. This report will discuss the findings and comment on same.

The condition of electrical and other services to the property were not inspected in detail and fall outside the scope of this report.

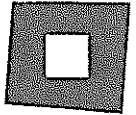
2. Site Location & General Description

As indicated on the site location map below the property is located just off Sunday's Well Road, approx. 1.5km outside Cork City Centre.



Figure 01 - Site location map

The property is accessed from the North by foot via a narrow entrance with the site sloping from North to South.



3. Property Description

The property is a detached five-bay two-storey over semi basement house, built c.1820, having central three-bay breakfront to front (north) elevation with arcaded base creating porch. Five-bay three-storey garden (south) elevation having slightly advanced end-bays.

The building is late Victorian reconstruction c.1880, including two-storey canted bay windows with connecting balcony at first floor level surmounted on arcaded veranda to south elevation.

The roofs are hipped natural slate roof with cast-iron ridge cresting, rendered chimneystacks, projecting eaves with dentils and cast-iron rainwater goods.

Walls are solid masonry brick and stone construction with smooth rendered walls with decorative render detailing to south elevation. Square-headed window openings having moulded render surrounds with render sills, cut limestone sills to ground floor of front elevation.

Round-headed window openings to central bays of south elevation, ground and first floor having continuous hood moulding, prominent keystone and prominent cornice on brackets above ground floor windows.

One-over-one pane timber sliding sash windows throughout.

Square-headed door opening to north elevation with moulded render surround, half-glazed timber door having leaded stained glass and overlight. Square-headed door opening to first floor central bay (south elevation) and side openings of canted bays having double-leaf glazed timber door with overlight accessing balcony. Square-headed door opening to south elevation having half-glazed timber door with overlight and flanking sidelights. Tiled mosaic floors to front porch and veranda to south. Rendered balustrade to bridge over basement terminating in render piers with cast-iron lamp bases.

4. External Areas

4.1 Site Details

The property sits with in a large very steeply slopping site with the River Lee on the sites lower southern boundary and bounded by Sundays Well Road to the North. Due to its very steep slope the property and gardens of the site have been formed in a series of stepped platforms or terrace levels which have been cut into the slope and retained with a number of masonry retaining walls. The House itself sites on one of the upper terrace level with a retaining walls forming a well area set back on three sided of the building.

From excavations through the adjoining site it is know that the underlying ground conditions on the site comprise circa 1.5 to 2.5m of sandy gravel clay soils over a soft weathered shally mud stone rock. This underlying rock is significantly shattered and weathered and can be bug out by hand for the first 1m.

Based on the steep site and the ground conditions the northern end of the property will be founded on or near the rock level with the southern end of the house founded with in the upper clay soil/soft weather mud stone layers. The noted cracking and subsidence to the property identified in the following sections of this report are more substantial and pronounced towards the southern end of the property. See schematic section figure 02 below for information.

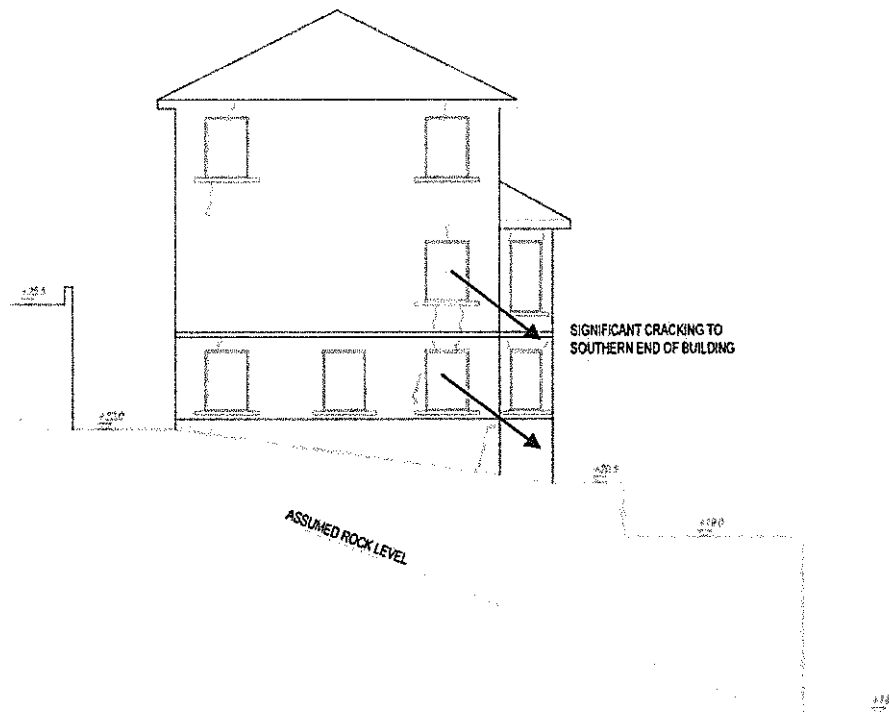
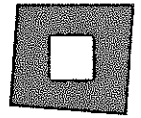


Figure 02 – Schematic Sketch section showing property & ground levels with rock level indicated. Crack pattern indicates settlement towards the southern end of the property

4.2 Drainage Details

The main drainage lines serving the property run within the well area to the North of the property and turns through 90 degrees running south along the west elevation and then turns south west to discharge to a septic tank in the far south western lower garden area of the site. (Refer to drainage layout sketch Figure 03).

There are a number of rain water down pipes and soil and waister pipes discharging to the main underground 150mm clay drain within the well area along the north and eastern elevations.

There is a 150mm pvc dropper pipe coming through the retaining wall on the eastern end of the well area and discharging into the head of the main 150mm clay drain. The dropper pipe appears to be taking flows from an adjoining house property to the north east of the site.

There is also a 150mm cast iron dropper pipe coming through the retaining wall at the north east corner of the well area and discharging into an existing manhole of the main 150mm clay drain in this location. This dropper pipe appears to be taking flows from an adjoining house property to the north west of the site.

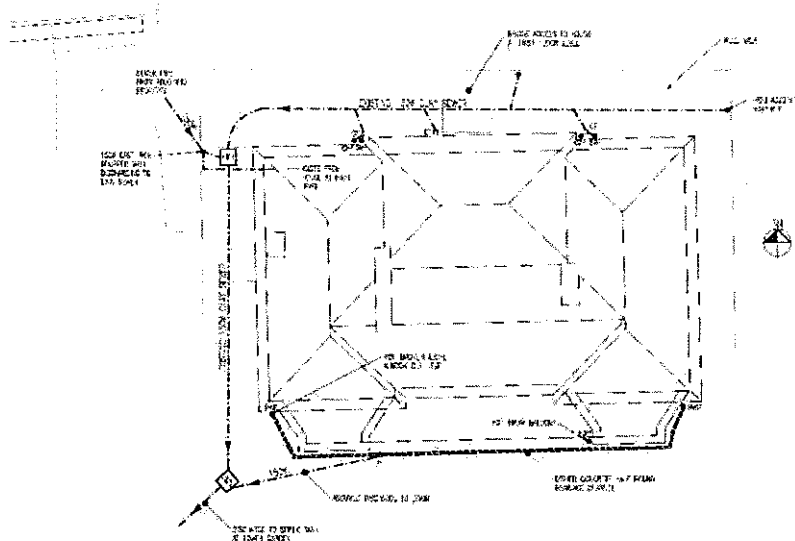
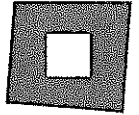


Figure 03 – Schematic Sketch layout showing the main underground drainage runs around the property

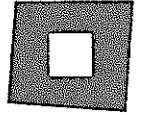
Along the rear Southern elevation there are a number of cast iron rain water down pipes discharging water from the roofs and also from the balcony area on this side of the property. These rainwater pipes generally discharge to an open half round drainage channel which runs along the southern elevation of the property. This concrete channel discharges into a clay gully towards the western end of the channel which we believe is connected to the main drain to the west.

It was noted that some of the rain water down pipes were discharging either directly onto the ground in places and or over shooting the concrete channel. The gully looks to be in poor condition up and channel cracked in places. All of the above would be contribute to significant amounts of water leaking into the ground along this elevation of the property.

The existing old main clay drainage runs had recently been inspected by a drainage survey and repair company 'Blockbusters Ltd.' and were found to be in a very poor condition with cracked and displaced pipes and extensive root penetration and associated damage evident. (See drainage initial report attached in appendix A).

There would have been extensive and prolonged loss of water from these drains. We understand most of the main drainage lines from the north east corner down have now been relined but the remaining clay lines, gullies and manholes and the branch lines from the various connections and rain water pipes would need to be replaced or re lined also.

There is ample evidence of structural cracking and subsidence to the property which is identified in the following sections of this report. We believe the escape of water from these leaking and damaged drains has resulted to the significant cracking and subsidence noted due to the softening and loss of subsoil



material below the foundations.

We recommend that all the remaining underground drains and connecting gullies and manholes around the property should be cleaned and relined or replaced with new pvc drains in conjunction with extensive structural underpinning and crack repair of the building foundations and perimeter walls.

4.3 Front (North) Elevation

The Front (Northern elevation) consists of three stories with a central three-bay front with an arcaded base creating porch with side recessed single bays on either side. The elevation is rendered with a smooth cementations rendered unpainted finish with decorative plaster molding around windows, doors and at roof eaves.

There are a number of minor cracks visible to the render particularly around window heads and cill areas. The roof is a typical A frame with hips to both the east and west with slates and two no. chimneys. A detailed inspection of the roof could not be carried out from ground.

There are timber fascia and soffit overhanging eaves on the elevations and some sections appear to be rotted in number of areas. The gutters and downpipes are painted cast iron and some deterioration has occurred at the joints however they appear to be in a relatively good condition. Evidence of staining and spot locations on the fascia indicate leaks from that joints of the gutters.



Photo -01 – Front Elevation (North East) View



Photo -02 – Front Elevation (North)

The front entrance to the property on this elevation is accessed at first floor level. The lower ground floor level sits with in a well created by a retaining wall set back circa 2.4m from the building line which surrounds the property on the north and partly on the east and west sides.

The main drainage line serving the property are located within the well area. There are a number of rain water down pipes and soil and waist pipes discharging to an underground 150mm clay drain with in the well are along this front election. This main drain turns through 90 degrees and south along the west elevation and then turns south west to discharge to a septic tank in the lower garden are of the site. (Refer to plan sketch Fig 001)

The well areas is generally surfaces with a mix of gravel and concrete paving but it is significantly over grown and where visible the concrete paving is cracked and has subsided.

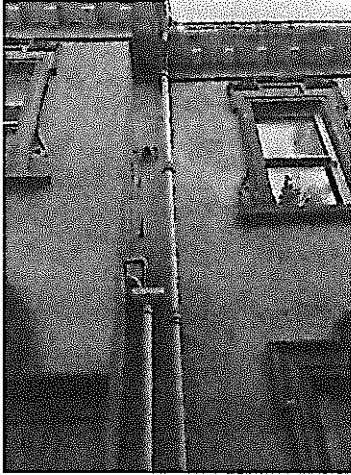
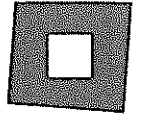


Photo -03 SVP & RWP at Front Elevation



Photo -04 Gully in Well at Front Elevation

Clay Gully taking SVP & RWP in Well area discharging to 150mm Clay Drain

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Photo -05 Well area to Front Elevation looking West

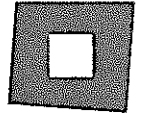


Photo -06 Well area to Front Elevation looking East

4.4 Western Elevation

The side west facing elevation consists of three stories with sliding sash windows at each level. The wall is smooth cementations rendered unpainted finish. There is a rendered plinth at ground level and a outstanding string course molding details between ground and first floor level floor levels with decorative plaster molding around windows and at roof eaves.

As indicated I the drainage layout in Figure 002 the main 150mm drain runs parallel to this eastern elevation with in the well area. As per the drainage survey report and inspection set out in appendix A, This drain was found to be in a very poor condition with open and would have been leaking over a prolonged period. We believe the escape of water from these leaking and damaged drains has resulted to the significant cracking and subsidence



There are a number of significant structural cracks visible to the render particularly around window heads and cill areas towards the southern end of the elevation. see photos below. The direction and pattern of the structural cracking indicates subsidence movement most significantly towards the southern end of the property.

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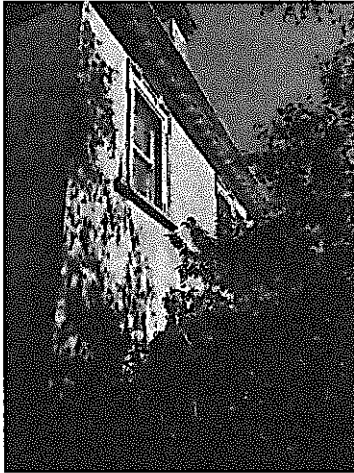


Photo -07 West Elevation High Level



Photo -08 West Elevation low Level

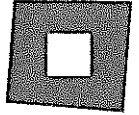


Example of significant Structural Cracking to Southern corner of east elevation.

Photo -09 Structural Cracking to West Elevation

4.5 Rear (South) Elevation

The rear (southern elevation) consists of three stories with two no. bay windows to 2nd floor level. There is an external concrete balcony at first floor which is supported by brick columns and brick arches with have been rendered with sand and cement. The concrete balcony shows signs of movement and has multiple



cracks visible. The columns and the arches are cracked and some show significant signs of movement. (ref to photo 16 & 17)

A cementations rendered covers the entire façade of this elevation, this has considerably significant structural cracking throughout. There is decorative corncicing and decorative window reveals which has deteriorated over time and many of which has now broken away completely.

The roof is a typical A frame with hips to both the east and west with slates and two no. chimneys. A detailed inspection of the roof could not be carried out from ground.

There are timber fascia and soffit which appear to be rotted in a number of areas. Visible black spots represents areas where water has been accumulating and ultimately causing damage to these. The gutters and downpipes are painted cast iron and some deterioration has occurred at the joints however they appear to be in a relatively good condition. Given the black spot locations on the fascia it can be assumed that the seals in the joints of the gutters have broken down and water can pass through at these points.

There are a number of cast iron rain water down pipes discharging water from the roofs and also from the balcony area on this side of the property. These rainwater pipes generally discharge to an open half round drainage channel which runs along the southern elevation of the property. This concrete channel discharges into a clay gully towards the western end of the channel which we believe is connected to the main drain to the west.

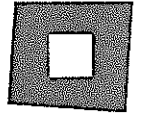
It was noted that some of the rain water down pipes were discharging either directly onto the ground in places and or over shooting the concrete channel. The gully looks to be in poor condition up and channel cracked in places.

There is a tiled section on the ground floor under the concrete walkway, this is in a very poor condition with signs of subsidence movement clearly evident due to the large cracking which has presented itself. (Refer to photo 25 & 26) There is a concrete half round channel surface drain along the perimeter of this elevation with a gravel pathway to the front of this. This concrete channel discharges into a clay gully towards the western end of the channel which we believe is connected to the main drain to the west. The channel drain is in a poor condition and given the gravel pathway adjacent to it, much of the water supposed to be channeled by this drain would easily pass directly into the ground.

The windows are a traditional sliding sash timber frame window. These have no ventilation slots as per standard with all modern windows, many of the reveals are cracked as well as some breakouts of the render.

There are step outs in the building at each floor, these could act as a ledge for water to pond and ingress from.

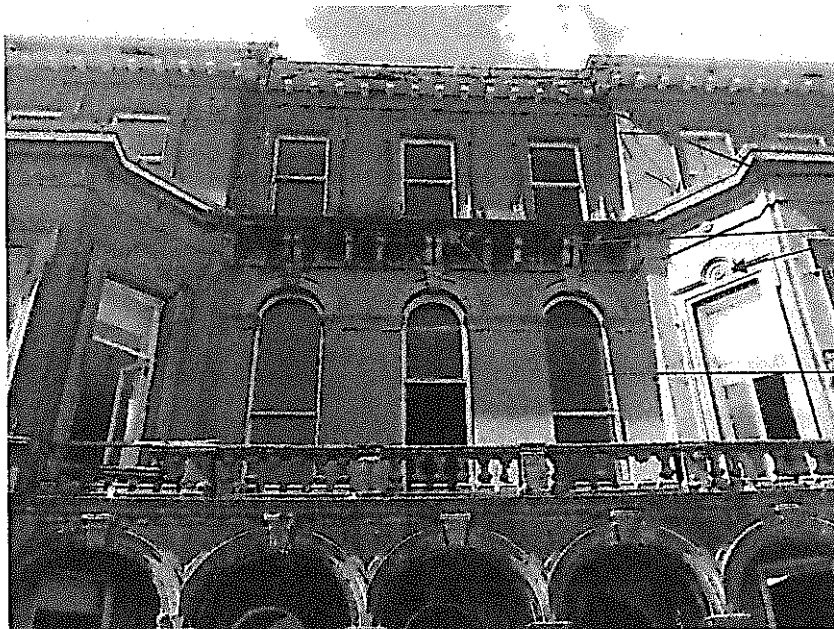
Given the amount of cracking of the render present on the elevation, water could easily be passing into the walls and causing damp and rot internally.



Traditional timber sliding sash

Brick Arch and Column with sand and cement

Photo 10 – South Elevation level 00 to 02.



Decorative corning and

Ledge for water to pond.

Photo 11 – South Elevation Level 01 to Roof

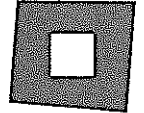


Photo 12 – South West Corner



Photo 13 – South East Corner

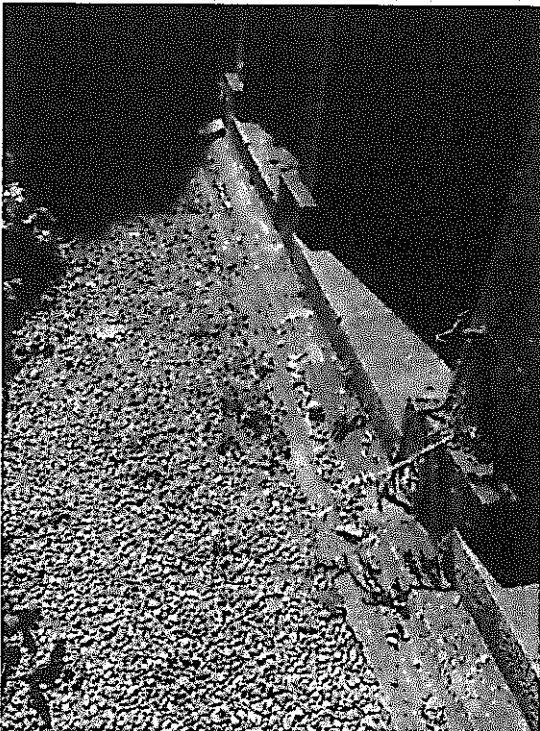


Photo 14 – Surface Drain and Gravel Path



Photo 15 – Surface Drain and Gravel Path

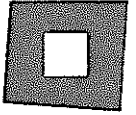


Photo 16 – Column Movement

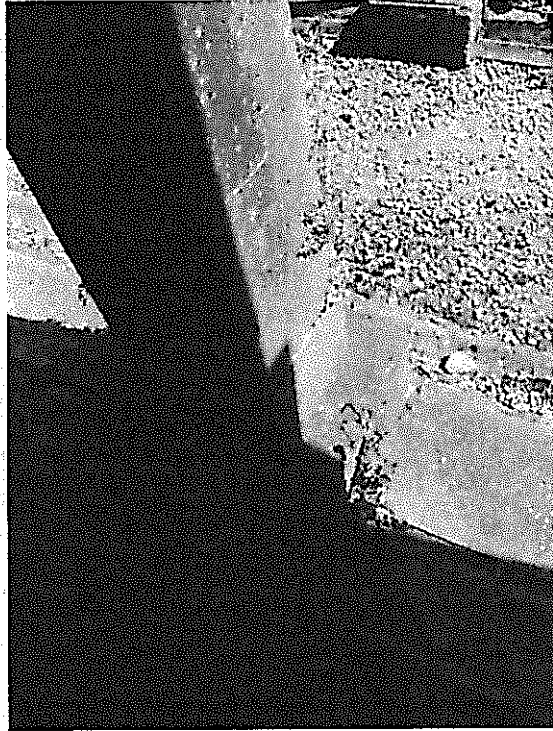


Photo 17 – Column Cracking



Photo 18 – Cracking in Arch



Photo 19 – Cracking in Arch

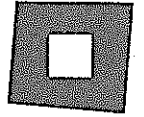


Photo 20 – Cracking to U/S of Concrete Walkway



Photo 21 – Cracking to U/S of Concrete Walkway



Photo 22 – Movement in South West Corner Bay



Photo 23 – Cracking in South East Corner Bay

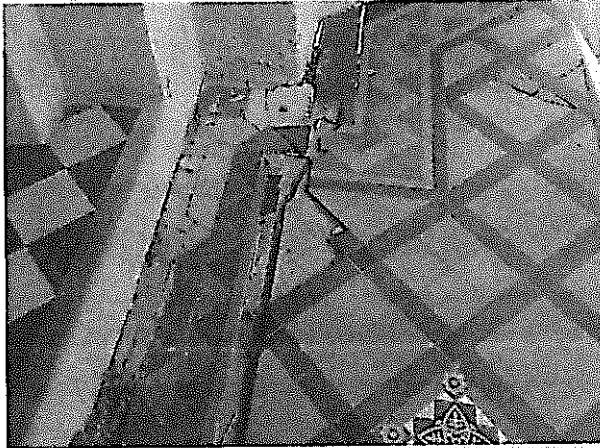
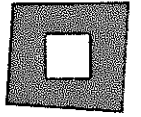


Photo 24 – Cracking in Tiles under Concrete Walkway

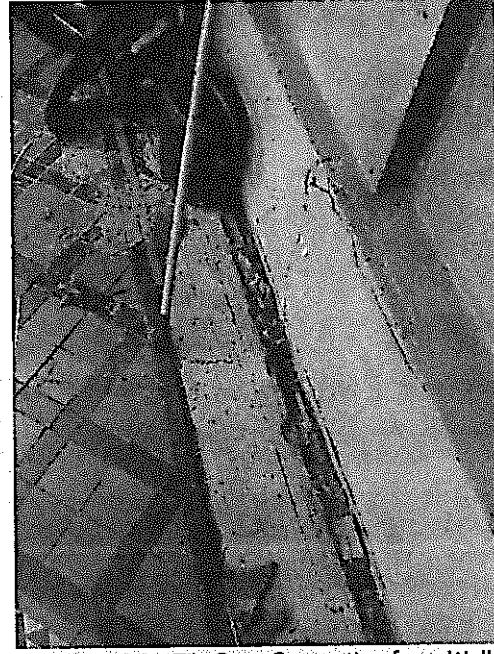


Photo 25 – Tile Base Separation from Wall



Photo 26 – Cracking in Walls

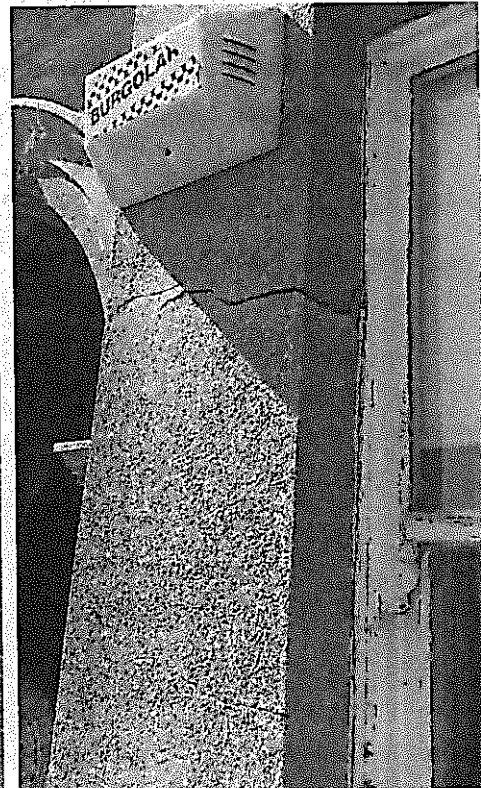


Photo 27 – Cracking in Walls

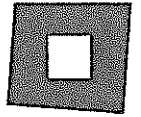


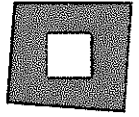
Photo 28 – Cracks around window



Photo 29 – Deterioration of Corncing



Photo 30 – South west bay window showing significant structural movment.



4.6 Eastern Elevation

The east facing elevation consists of three stories with sliding sash windows at each level. The wall is smooth cementations rendered unpainted finish. There is a rendered plinth at ground level and a outstanding string course molding details between ground and first floor level floor levels with decorative plaster molding around windows and at roof eaves.

There are some structural cracks visible to the render particularly around window heads and cill as indicated in the photos below.

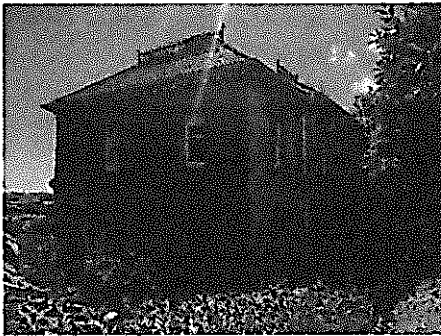


Photo -XX – East Elevation

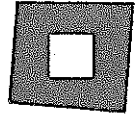


Photo -02 – South East Corner Elevation



Example of Cracking to east elevation.

Photo -08 Structural Cracking to East Elevation



5 Internal Areas

The internal areas of the properties show significant signs of structural movement as seen on the external elevations with internal cracking to walls and ceilings with many matching the crack pattern on the external walls and showing most extensively on the southern end of the property.

The internal floor similarly show significant displacement towards the southern and western end of the property with visible slopes seen in the first floor rooms particularly pronounced to the end bay window areas.

5. Conclusions/Recommendations

The extent of structural cracking and visible displacement of the walls, supporting masonry piers and internal floors particularly along the western and southern elevations of the property coupled with the evidence of prolonged and substantial water escape from the underground drains clearly shown that the property has suffered subsidence to foundations due to wash out and loss of the sub soil material.

The known ground profile with the northern end of the property founded on or near the rock level and the southern end of the property founded on the more extensive depth of sub soil clearly contributes to the extent of structural cracking and subsidence movement being more pronounced towards the southern end of the property.

We recommend that all the remaining underground drains and connecting gullies and manholes around the property should be cleaned and relined or replaced with new pvc drains in conjunction with extensive structural underpinning and crack repair of the building foundations and perimeter walls.

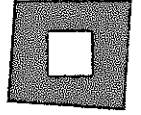
The extent and type of underpinning will need to be designed and confirmed with some localized site investigation in the form of number of trial pits and probes carried out to the perimeter walls to establish the extent and depth of the foundations and the underlying rock levels.

Notwithstanding the confirmation of the site investigations recommended to complete the underpinning design we know that the walls foundations to the southern end of the property will require underpinning with either drilled hollow stem grouted mini piles or screw piles to a depth of circa 3 to 5m to the underlying rock. The underpinning depth will reduce as you work back towards the northern elevation of the property which is thought to be on rock already.

In conjunction with the underpinning and drainage replacement works extensive crack repair will be required to the wall elevations this will take the form of hacking off plaster and cutting and installing 'Helibar' stainless steel crack stitch repair bars in repair mortar every 400mm c/c to each structural crack. The repair of render and plaster will be required on completion.

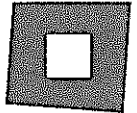
Given the amount of displacement to some areas of the southern elevation particularly to the bay windows and the balcony area there will be a requirement for some temperate propping and shoring of these structures to facilitate the underpinning and crack repair works as well as the rebuild of some of the balcony support columns which are leaning badly.

As there is clear evidence of substantial subsidence and structural cracking to the property due to the escape of water from the drains and given the extent of underpinning and remedial works required as outlined above I would that the insurers be notified of the finding of this report. The client should seek confirmation from the insurers that they accept the findings of this report in principle and look to have a Engineer and QS appointed to develop and cost the necessary scope of remedial works with the view to agreeing the claim amount and having the works undertaken as soon as possible.



6. Appendices
Drainage Report

JCA Architects – 21 Sundays Well Road, Cork



BLACKAGEBUSTERS Ltd.
DRAIN CLEANING • CCTV SURVEYS • LINING • REPAIRS
EMERGENCY NUMBER: 087 2140342

Brimfield, Midleton, Co. Cork
Tel/Fax: 021 4019155
Mob: 087 2140342
Email: info@blackagebusters.ie
Web: www.blackagebusters.ie

Client: Martin O'Callaghan

Site: 21 Sundays Well Rd

Scope of Works: Site survey for sewer rehabilitation works

Date: 26th June 2017

Please see photos

Summary report

On arrival at the above address we found the 150mm clay lines to have separated and cracked which then as a consequence resulted in substantial root infiltration. These lines will need to be deroofed primarily first & then 1 x 150mm patch repair carried out at a severely displaced section of old clay. We have done a number of similar properties on Sundays well and have a well practiced process with these.

The lines needed to be lined through with a seamless XT (extra tough) liner from beginning to end, in effect making the old concrete manholes defunct downstream to the drop 90 & new Wavin A) (with the option to make, very simply, access again to these in the future).

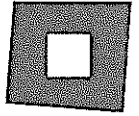
To address the clay line the first step was to de-root the pipework, this required 2 jet out vans as access is an issue. 1 van would jet & deroof while the other brings water to site (deroofers is 70 lpm water in 150mm lines) at a discounted rate of €150 per hour + Vat @ 13.5%, 3 man crew 2 vans, extra length of hose. Realistically you will be a long day setting up and removing the substantial roots. Jetting of roots is done under camera survey.

Once the roots were removed allow approx. €425 + Vat @ 13.5% per metre for the seamless lining. There was approx. 18 Mtrs of lining to be carried out from FMH1 to the drop pipe. We have ordered up the lining materials and they arrived on the 21st April.

Our site role was initially to repair between FMH1 to the drop pipe through FMH2 and FMH3. The upstream lines had not been inspected, the other gullies on site have not either and the Wavin A) and drop pipe can be addressed by the builder once our lining works are done.

Once we successfully completed the above downstream works we were asked to investigate the upstream lines and found similar or possibly worse root

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Tel: 087 3140342
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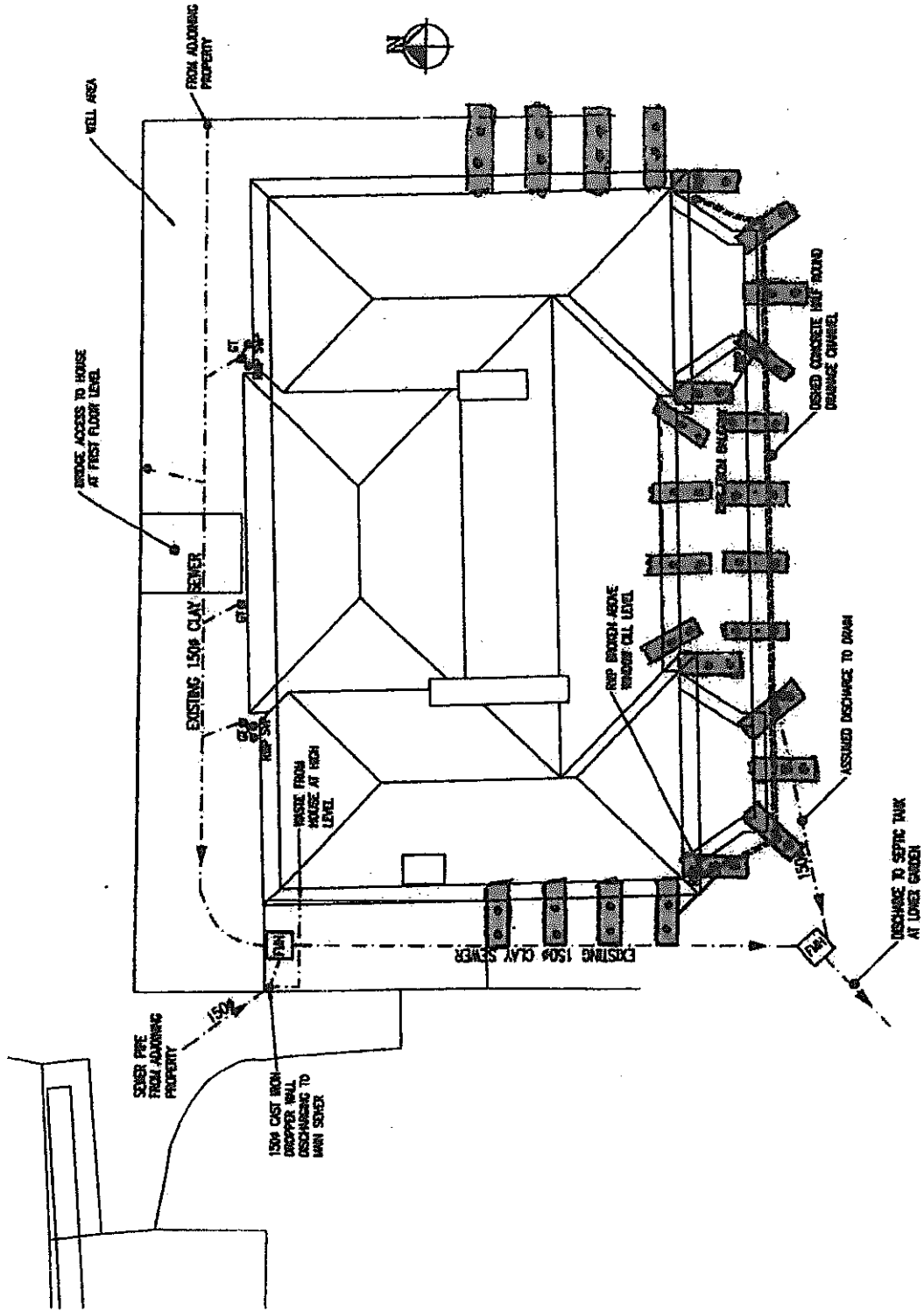
These lines upstream and downstream have now been addressed except for 1 x 150mm junction where a lateral connection is present. (we are awaiting our new portable specialised robotics unit which is coming from Germany on the 21st July, once this is here we will carry out the final cutting on this 1 mtr long specific lateral section, 1 x 1 mtr liner and 1 x 1 mtr cut out to open the lateral connection on completion.

The storm downpipes need to be addressed once the building has been made sound enough for excavations, given that the property has large cracks and movement at present with a localized wall collapse also.

Tadhg O'Driscoll

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16 Tie Bars

26 Beam

52 Piles

26 Anchors through Beams

Surveyed 1974
 Revised 2006
 Levelled 1983

Urban PLACE Map



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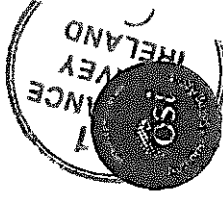
JTM CENTRE PT. COORDS

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DESCRIPTION

MAP SHEETS

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 Kircubbin Road,
 Co. Cork
 On behalf of Ordnance Survey Ireland,
 Phoenix Park, Dublin 6.

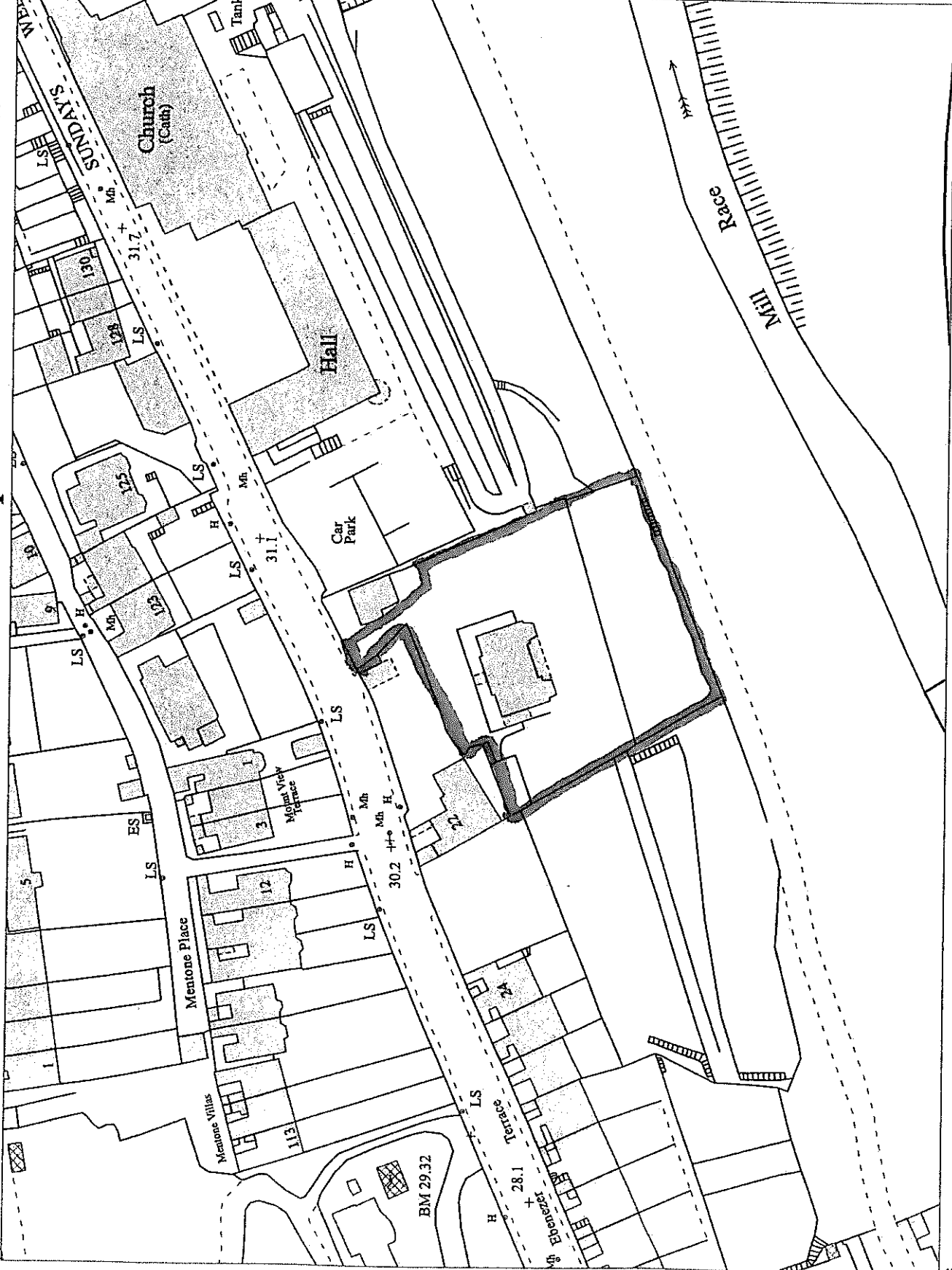
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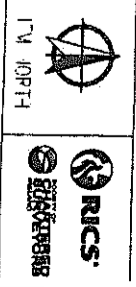
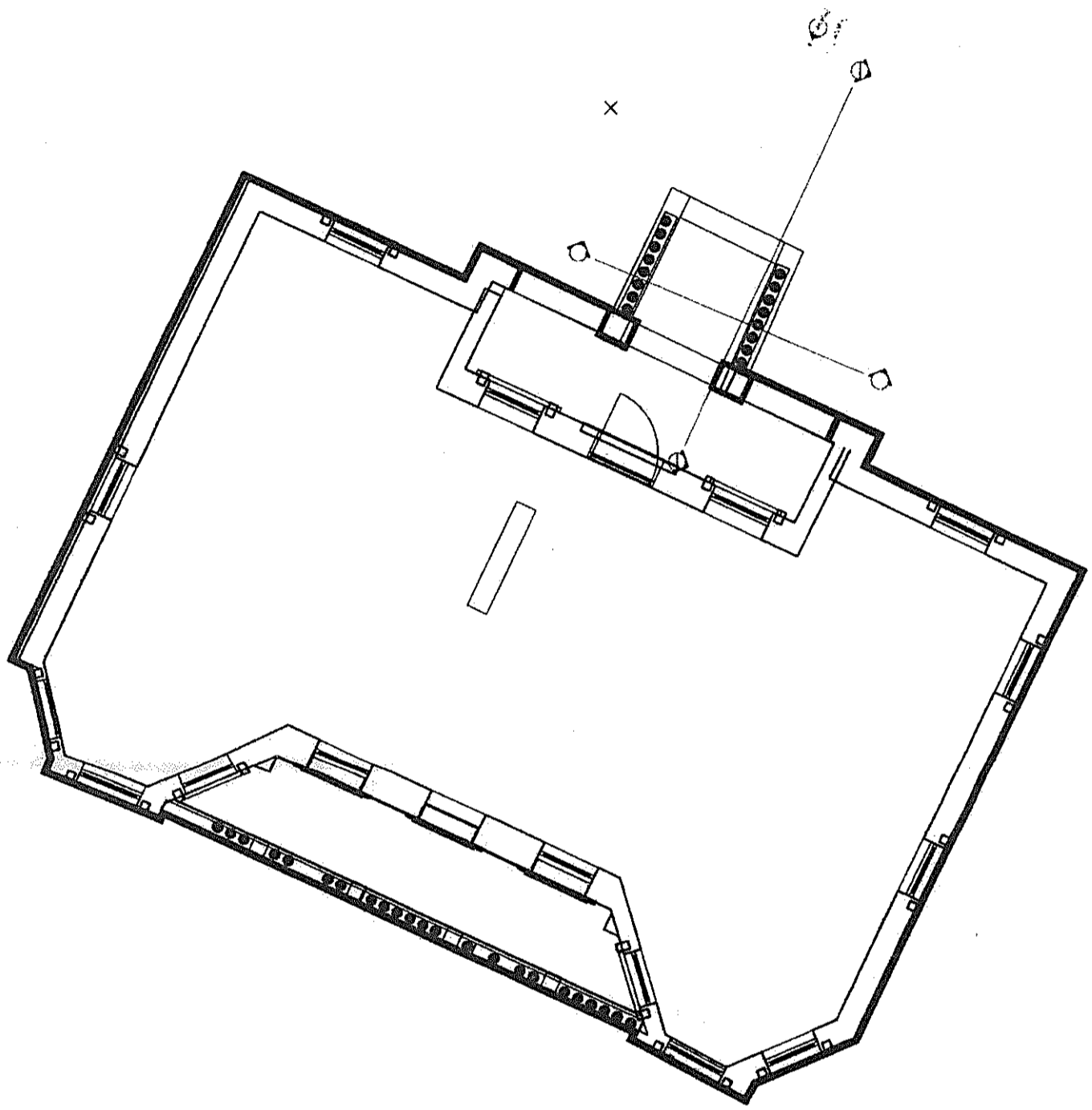
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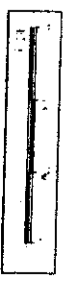
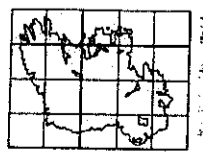
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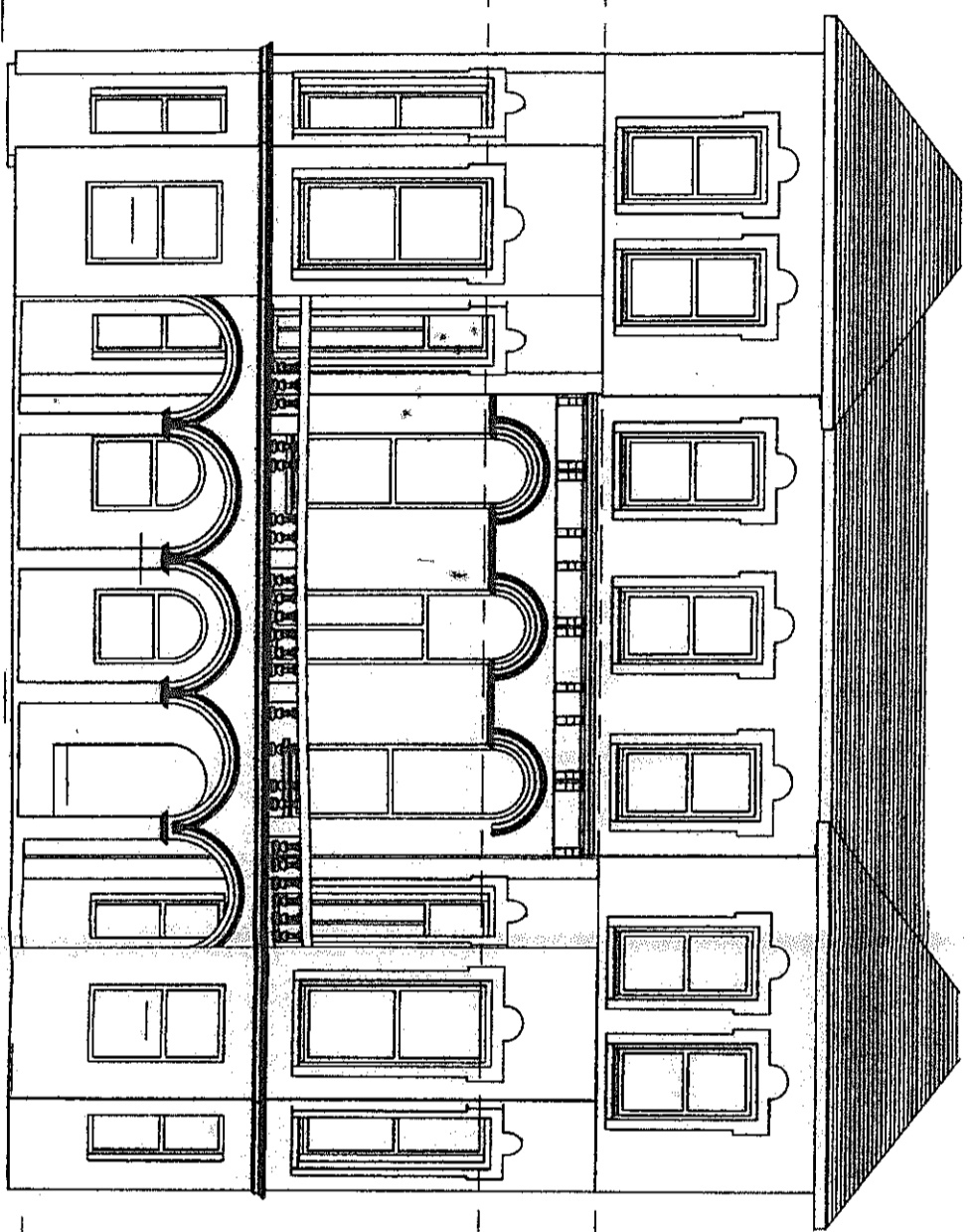
THE ABOVE IS A SUMMARY OF THE INFORMATION PROVIDED IN THE SURVEY REPORT AND IS NOT TO BE USED AS A BASIS FOR ANY DECISIONS.



<p>01 - WALLS</p> <p>02 - FLOORS</p> <p>03 - ROOFS</p> <p>04 - GLAZING</p> <p>05 - DOORS</p> <p>06 - WINDOWS</p> <p>07 - STAIRS</p> <p>08 - LIFT</p> <p>09 - CORE</p> <p>10 - SERVICES</p> <p>11 - FURNITURE</p> <p>12 - PLANT</p> <p>13 - SIGNAGE</p> <p>14 - OTHER</p>	<p>01 - WALLS</p> <p>02 - FLOORS</p> <p>03 - ROOFS</p> <p>04 - GLAZING</p> <p>05 - DOORS</p> <p>06 - WINDOWS</p> <p>07 - STAIRS</p> <p>08 - LIFT</p> <p>09 - CORE</p> <p>10 - SERVICES</p> <p>11 - FURNITURE</p> <p>12 - PLANT</p> <p>13 - SIGNAGE</p> <p>14 - OTHER</p>
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 Fax: 020 7494 5001
 Email: info@geodata.co.uk
 Website: www.geodata.co.uk

<p>101</p>	<p>102</p>	<p>103</p>	<p>104</p>
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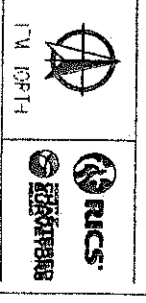
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Level 8
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02 FIRST FLOOR
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01 GROUND FLOOR
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Code	Description	Material	Notes
001	Concrete	Concrete	
002	Brickwork	Brickwork	
003	Plaster	Plaster	
004	Roofing	Roofing	
005	Windows	Windows	
006	Doors	Doors	
007	Architectural	Architectural	
008	Structural	Structural	
009	Other	Other	

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